



Regional Planning Commission  
Kingston Springs, Tennessee

**10 August, 2023**  
**Meeting Packet**



**Kingston Springs Regional Planning Commission  
Meeting Agenda  
10 August, 2023**

*Submittal Deadline Date: 14 July, 2023*

The meeting was called to order by \_\_\_\_\_ at \_\_\_\_\_ pm.

**1. Roll Call of Voting Members:**

- Keith Allgood \_\_\_\_\_
- Tony Thompson \_\_\_\_\_
- Tony Gross \_\_\_\_\_
- Mike Hargis \_\_\_\_\_
- Lauren Hill \_\_\_\_\_
- Mike Patenaude \_\_\_\_\_
- Craig Kitch \_\_\_\_\_
- Marie Spafford \_\_\_\_\_
- Bob Stohler \_\_\_\_\_

**2. Non-Voting Staff:**

- Sharon Armstrong \_\_\_\_\_
- Peter Chimera, P.E. \_\_\_\_\_ (Attends at Request of Planning Commission)

**3. Ex Officio Attendance:**

- John Lawless, City Manager \_\_\_\_\_
- Attorney \_\_\_\_\_ (Attends at request of Planning Commission)

**4. Declaration of Quorum by Chairperson.**

**5. Motion to approve 13 July, 2023, Planning Commission meeting minutes.**

**6. Motion to approve 10 August, 2023, Planning Commission meeting agenda.**

## **7. Community Input**

Public Comments shall be:

- a. limited to three (3) minutes for all regular agenda items and items removed from the Agenda and an overall time limit for all comments on an agenda item to ten (10) minutes unless extended by vote of a majority of the Planning Commission
- b. The Chairman shall limit comments to the Agenda items, to relevant comments and shall restrict comments that are disruptive in nature.

## **8. Declaration of Conflict(s)**

In the event that any member shall have a personal interest of any kind in a matter then before the Kingston Springs Municipal-Regional Planning Commission, she/he shall disclose his/her interest. Conflict of Interest is defined in the Kingston Springs Municipal Code Title 1, Chapter 4, Section 1-402 through Section 1-404.

## **9. Old Business**

- A. **Ellersly PUD – Update.**
- B. **The Golf Club of DBI LLC**
  1. **The Golf Club of DBI LLC. Staff Inspection Report**
- C. **Town of Kingston Springs Plat – Acquisition of a portion of Map 91N, Grp D, Parcel 39.00 and replat of Map 91, Parcel 99**

## **10. New Business**

- A. **Town of Kingston Springs Plat – Rezone of a portion of Map 91N, Grp D, Parcel 39.00 and replat of Map 91, Parcel 99 from R-1 Low Density Residential District to C-1 Central Business – Planning Commission recommendation to City Commission.**
- B. **Change of Use Application for 385 N. Main St. Proposed Change from Professional, finance, insurance, real estate, personal, business and repair services TO Retail Establishment (home goods).**
- C. **Recess for meeting of Design Review Committee**
- D. **Consideration of recommendation of the KS Design Review Committee: 399 Moores Circle Application, 5.300 MIXED USE DISTRICT ALLOWED USES AND FORM BASED STANDARDS, 5.300.5, A., 2. Adaptive Reuse Provisions, b.**
- E. **KS Regional Planning Commission Recommendation to the KS City Commission RE: Closing a portion of Harpeth Hills Dr.**

**11. Other (For Discussion Only).**

a. None

**12. Motion to Adjourn.**

**The meeting was adjourned by \_\_\_\_\_ **at** \_\_\_\_\_ **pm****

\_\_\_\_\_  
**Mike Patenaude**  
**Planning Commission Chair**

\_\_\_\_\_  
**Jamie Dupré**  
**City Recorder**

**11. Other (For Discussion Only).**

a. None

**12. Motion to Adjourn.**

**The meeting was adjourned by \_\_\_\_\_ **at** \_\_\_\_\_ **pm****

\_\_\_\_\_  
**Mike Patenaude**  
**Planning Commission Chair**

\_\_\_\_\_  
**Jamie Dupré**  
**City Recorder**



**Kingston Springs Regional Planning Commission  
Meeting Minutes  
July 13, 2023**

The meeting was called to order by Chair Patenaude at 7:00pm.

**1. Roll Call of Voting Members:**

Keith Allgood	Present
Tony Thompson	Absent
Tony Gross	Present
Mike Hargis	Absent
Lauren Hill	Present
Mike Patenaude	Present
Craig Kitch	Present
Marie Spafford	Present
Bob Stohler	Absent

**2. Non-Voting Staff:**

Sharon Armstrong	Present
Dan Smola, P.E.	Absent (Attends at Request of Planning Commission)

**3. Ex Officio Attendance:**

John Lawless, City Manager	Present
Attorney	Absent (Attends at request of Planning Commission)

**4. Declaration of Quorum by Chairperson.**

Chair Patenaude declared a quorum was present.

**5. Motion to approve 8 June, 2023, Planning Commission meeting minutes.**

Motion to approve the June 8, 2023, Planning Commission meeting minutes made by Keith Allgood, second by Craig Kitch, and approved unanimously. Motion passed.

**6. Motion to approve 13 July, 2023, Planning Commission meeting agenda.**

Motion to approve the July 13, 2023, Planning Commission meeting agenda made by Keith Allgood, second by Tony Gross, and approved unanimously. Motion passed.

**7. Community Input**

Public Comments shall be:

a. limited to three (3) minutes for all regular agenda items and items removed from the Agenda and an overall time limit for all comments on an agenda item to ten (10) minutes unless extended by vote of a majority of the Planning Commission

b. The Chairman shall limit comments to the Agenda items, to relevant, non-repetitive comments and shall restrict comments that are disruptive in nature.

None

**8. Declaration of Conflict(s)**

In the event that any member shall have a personal interest of any kind in a matter then before the Kingston Springs Municipal-Regional Planning Commission, she/he shall disclose his/her interest and be disqualified from voting upon the matter, and the Secretary shall so record in the minutes that no vote was cast by such member.

No action needed.

**9. Old Business**

**A. Ellersly PUD – Update.**

City Planner states she has visited the Ellersly Subdivision after two recent rains. On the first inspection there was soil disposition present and the Planner has drafted a letter to the developer indicating additional soil and erosion work should be done. Second visit showed good improvement. Commissioner Kitch indicated he visited the site July 9<sup>th</sup> and saw there was limited erosion after a recent heavy rain. Planner states they made good strides in improving the stability of the site.

**B. The Golf Club of DBI LLC**

**1. The Golf Club of DBI LLC. Staff Inspection Report**

Planner states the last two inspections have been clean. There is still some silt in the creek after heavy rains. There is an ARAP permit from the state in place to remove this siltation and this work is taking place. Planner states some of the water runoff from the site is still crossing South Harpeth Road and she will be addressing this with the contractor. Planner also indicates the permitted construction phases of this project as well as the Golf Club of Tennessee project are nearing completion.

**C. KS Regional Planning Commission Bylaws**

**1. Reconsideration of Bylaws with recommended amendments from the City Attorney.**

Chair Patenaude covered the articles in the document and reviewed the changes requested from last month's meeting. It was determined all requested changes were made in the updated document presented. Motion to approve the updated Planning Commission Bylaws as presented made by Keith Allgood, second by Tony Gross, and approved unanimously. Motion passed.

**10. New Business**

**A. Town of Kingston Springs Plat – Acquisition of a portion of Map 91N, Grp D, Parcel 39.00 and replat of Map 91, Parcel 99.**

City Manager John Lawless as representative for the town of Kingston Springs requested a deferral to the next Planning Commission meeting. Lawless indicated the Town would be bringing this item back before the Planning Commission as a rezone request. Motion to defer made by Craig Kitch, second by Lauren Hill, and approved unanimously. Motion passed.

**11. Other (For Discussion Only).**

**a. None**

**12. Motion to Adjourn.**

The meeting was adjourned by Chair Patenaude at 7:25pm

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**Mike Patenaude**  
**Planning Commission Chair**

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**Jamie Dupré**  
**City Recorder**



KS REGIONAL PLANNING COMMISSION STAFF REPORT – 26 JULY 2023

Sharon Armstrong, Planner

DBIX – Multiple rain events in the past few weeks have resulted in breaches of the soil, erosion, and stormwater measures installed by the developer. We received several email complaints with video attached from an adjacent property owner.

The ARAP silt and soil removal process began with the installation of three cofferdams. All of the devices floated from the mooring locations and entered the Harpeth River. The pictures below show one of the cofferdams lodged against the bridge at the Pegram City Limits on E. Kingston Springs Rd. – SR 249. See pictures below:



The cofferdams present a danger to swimmers, kayakers, and others using the river.

Staff called Jeff Hooper, Project Engineer and Blake Smith, Soil and Erosion Project Manager on Saturday, 22 July after receiving a complaint. I received a response from Jeff Hooper stating the cofferdams would not be removed until the water current lessened.

They were removed on Monday and Tuesday, July 24-25.

Stable anchoring of the dams is critical to ensuring they do not enter the water stream.

DBIX reports the cofferdams will be replaced during the second week of August 2023.

In addition to the issues with the ARAP de-siltation permit there were complaints and videos regarding additional soil entering the waterways after periods of heavy rain.

Removal of the spoils debris continues at the 4 pipe location. The runoff produced has been clear. There are still areas of concern on the playing course site due the tree fall and heavy rain.



Staff recommendation: If the soil and erosion controls are still insufficient to contain the rainfall we will issue a Stop Work on the project until sufficient controls are in place.

## Re: Cofferdams

City Planner <cityplanner@kingstonsprings-tn.gov>

Wed 7/26/2023 11:56 AM

To: Andy Howell <ahowell@cahco.com>; Jeff Hooper <jhooper@bcacivil.com>

Cc: John Lawless <jlawless@kingstonsprings-tn.gov>; Mike Patenaude <patenaude54@bellsouth.net>; Tony Gross <tgross@kingstonsprings-tn.gov>

Mr. Howell,

Please provide dates and times you are available to begin the process of providing Performance Bonding and a plan of repair for South Harpeth Rd. within the city limits of Kingston Springs.

Sincerely,

Sharon Armstrong, Planner

KS Regional Planning Commission

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**From:** Jeff Hooper <jhooper@bcacivil.com>

**Sent:** Wednesday, July 26, 2023 8:46 AM

**To:** City Planner <cityplanner@kingstonsprings-tn.gov>

**Cc:** Mike Patenaude <patenaude54@bellsouth.net>; Tony Gross <tgross@kingstonsprings-tn.gov>; Andy Howell <ahowell@cahco.com>

**Subject:** Re: Cofferdams

Sharon,

Please see below for responses.

Jeff

**Jeff Hooper, P.E.**

**Direct** 615.324.4208 **Mobile** 615.476.3962

[BCAcivil.com](http://BCAcivil.com) | [JHOOPER@BCAcivil.com](mailto:JHOOPER@BCAcivil.com)

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**From:** City Planner <[cityplanner@kingstonsprings-tn.gov](mailto:cityplanner@kingstonsprings-tn.gov)>

**Sent:** Monday, July 24, 2023 11:14 AM

**To:** Jeff Hooper <[jhooper@bcacivil.com](mailto:jhooper@bcacivil.com)>

**Cc:** Mike Patenaude <[patenaude54@bellsouth.net](mailto:patenaude54@bellsouth.net)>; Tony Gross <[tgross@kingstonsprings-tn.gov](mailto:tgross@kingstonsprings-tn.gov)>

**Subject:** Re: Cofferdams

[EXTERNAL EMAIL]

Good morning Jeff,

I have several staff comments on four issues below, please respond accordingly:

1. The coffer dam presented an issue for canoers on the river over the weekend and generated several complaints. While the river experienced increased flow from the rains on Wednesday and Thursday the potential hazard to residents and visitors is unacceptable. What steps will be taken to ensure the coffer dam is stabilized in the future? ***The permits applicable to the water intake project require the use of the cofferdams. The cofferdams were installed in accordance with the manufacturer's specifications. The project contractor will consult with the manufacturer prior to the installation of new cofferdams and utilize any enhanced installation methods recommended by the manufacturer over and above its normal installation specifications to prevent any future failure. Two of the cofferdams were removed Monday and the third was found on the old railroad bridge pier near burns park and is being removed this morning.*** We received an email and video from Ms. Rose regarding disposition of soil in the river last week (forwarded in a separate email). Were there breaches of the soil, erosion and stormwater controls recently resulting in the disposition of soil and silt into regulated waterways on and adjacent to the DBI project? ***Yes, there were trees that fell and impacted EPSC measures. See report from Blake attached.***
2. I have not received the EPSC reports, drone aerials, and corrective action plans after the heavy rains in several weeks. These reports and plans to correct deficiencies are a requirement of the permit issued to the Golf Club of DBI, LLC. It is the responsibility of the development team to ensure reports are forwarded to the Town of Kingston Springs to inform staff and the Planning Commission. A failure to provide the requested items may result in a Stop Work Order until the items are provided. ***Please find reports attached along with Blake's report regarding the event last week.***
3. I have requested a meeting between the development team of the DBI Golf Course project and Kingston Springs staff to discuss repairs to the area of South Harpeth Rd. lying within the boundaries of Kingston Springs. Please provide several dates and times for the meeting to discuss bonding and repairs to the road. ***This meeting will need to be scheduled with Andy Howell.***
4. Equipment and large rip rap materials are stored on the Pricilla Dorris property adjacent to the South Harpeth Bridge. Storage of debris and materials are not permitted on the property. Please remove the materials if they are the property of DBIX, its contractors, or staff assigned to the property. ***The rip rap is the finished product that goes on the bank slope. The rock material is the backfill of the intake at the river. A commensurate amount of material has been removed from the site to ensure floodplain storage capacity is not impacted.***
5. Please ensure dump trucks hauling the spoils material on the DBIX site are not deposited on the roadway or bridge. ***Noted. We also are using a sweeper on the roads to ensure cleanliness.***

Sincerely,

Sharon Armstrong, Planner

KS Regional Planning Commission

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**From:** Jeff Hooper <[jhooper@bcacivil.com](mailto:jhooper@bcacivil.com)>  
**Sent:** Monday, July 24, 2023 7:41 AM  
**To:** City Planner <[cityplanner@kingstonsprings-tn.gov](mailto:cityplanner@kingstonsprings-tn.gov)>  
**Subject:** Cofferdams

Good Morning Sharon,

I was at my farm over the weekend, which doesn't have cell service, so just got your message this morning. The cofferdams were compromised by the flow in the river from the heavy rains Wednesday and Thursday and the contractor is scheduled to start retrieval this morning now that the flows in the river are safe to enter.

Jeff



**Jeff Hooper, P.E.**

Principal

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**Office** 615.356.9911 **Direct** 615.324.4202

**Mobile** 615.476.3962

[BCAcivil.com](http://BCAcivil.com) | [JHOOPER@BCAcivil.com](mailto:JHOOPER@BCAcivil.com)

6606 Charlotte Pk., Ste. 210, Nashville, TN  
37209

[INSTAGRAM](#)

[TWITTER](#)

*We are excited to announce the transition  
of Barge Cauthen & Associates to  
BARGE CIVIL ASSOCIATES!*

# Erosion Control and Stabilization Activities

## Update 7/21/23

- I. **Events – 7/19 and 7/20 4.1” Rain**
  - a. 7/20, 5:00pm Exit road running clear
  
- II. **Overview**
  - a. Multiple rain significant events
  - b. Multiple trees down at S Harpeth and 2 affecting silt fence
  - c. Responded with clean up crews
  - d. Several erosion control measures are to be re worked and/or replaced due to rain intensity
  - e. Several areas too wet on steep slopes to correct immediately
  - f. Observation of 4 Pipes and Exit Road 7/20 5:00pm water running clear
  - g. Additional supplemental crew will be scheduled for next week
  
- III. **Current Activities**
  - a. Erosion control
    - i. Fence repairs in miscellaneous areas
      - 1. See Daily Reports for detail
    - ii. New measure installation – Silt Fence/Filter Sock Check Dams
      - 1. Straw matting installed on slope at hole 6
      - 2. Silt fence replacement 13 and 16
    - iii. Topsoil installation and Hydroseeding on slopes
    - iv. Sod in select areas
  
  - b. Tennessee Erosion conducts twice weekly inspections
    - i. Reports observations
    - ii. Recommendation corrective actions or additional measures
  
  - c. Grassing
    - i. Fescue Sod installation on slopes
    - ii. Hydroseeding of native areas
    - iii. Bermuda Sod installation on hole 16
  
  - d. Grading
    - i. Maintenance Roads

References





**Thursday 5:00PM**





**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC)**  
 DIVISION OF WATER RESOURCES  
 William R. Snodgrass Tennessee Tower, 312 Rosa L. Parks Avenue, 11<sup>th</sup> Floor  
 Nashville, Tennessee 37243  
 1-888-891-8332 (TDEC)

**General NPDES Permit for Stormwater Discharges from Construction Activities (CGP)**  
**Construction Stormwater Inspection Certification (Inspection Form)**

<b>Site or Project Name:</b>		<b>NPDES Tracking Number: TNR</b>
Primary Permittee Name:		Date of Inspection:
Current approximate disturbed acreage:	Has rainfall been checked/documented daily? <input type="checkbox"/> Yes <input type="checkbox"/> No	Name of Inspector:
Current weather/ground conditions:	Rainfall total since last inspection:	Inspector's TNEPSC Certification Number:
Site Assessment <input type="checkbox"/> Yes <input type="checkbox"/> No	Assessor's TN PE registration number:	Assessor's TNEPSC Level II/CPESC number:

<b>Check the box if the following items are on-site:</b>	
<input type="checkbox"/>	Notice of Coverage (NOC)
<input type="checkbox"/>	Stormwater Pollution Prevention Plan (SWPPP)
<input type="checkbox"/>	Weekly inspection documentation
<input type="checkbox"/>	Site contact information
<input type="checkbox"/>	Rain Gage
Off-site Reference Rain Gage Location	

**Best Management Practices (BMPs):**

<b>Are the Erosion Prevention and Sediment Controls (EPSCs) functioning correctly?</b>				
If "No," describe below in Comment Section				
1.	Are all applicable EPSCs installed and maintained per the SWPPP per the current phase?	<input type="checkbox"/>	<input type="checkbox"/>	
		Yes	No	
2.	Are EPSCs functioning correctly at all disturbed areas/material storage areas? (permit section 5.5.3)	<input type="checkbox"/>	<input type="checkbox"/>	
		Yes	No	
3.	Are EPSCs functioning correctly at outfall/discharge points such that there is no objectionable color contrast in the receiving stream, and no other water quality impacts? (permit section 5.5.3.5 and 6.3.2)	<input type="checkbox"/>	<input type="checkbox"/>	
		Yes	No	
4.	Are EPSCs functioning correctly at ingress/egress points such that there is no evidence of track-out? (permit section 5.5.3.1)	<input type="checkbox"/>	<input type="checkbox"/>	
		Yes	No	
5.	If applicable, have discharges from dewatering activities been managed by appropriate controls? (permit section 4.1.3) If "No," describe below the measure to be implemented to address deficiencies.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		N/A	Yes	No
6.	If construction activity at any location on-site has temporarily/permanently ceased, was the area stabilized within 14 days? (permit section 5.5.3.4) If "No," describe below each location and measures taken to stabilize the area(s).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		N/A	Yes	No
7.	Have pollution prevention measures been installed, implemented, and maintained to minimize the discharge of pollutants from wash waters, exposure of materials and discharges from spills and leaks per section 4.1.4? If "No," describe below the measure to be implemented to address deficiencies.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		N/A	Yes	No





## Construction Stormwater Inspection Certification Form (Inspection Form)

### Purpose of this form / Instructions

An inspection, as described in subsection 5.5.3.9. of the General Permit for Stormwater Discharges from Construction Activities ("Permit"), shall be performed at the specified frequency and documented on this form. Inspections shall be performed at least 72 hours apart. Where sites or portion(s) of construction sites have been temporarily stabilized, or runoff is unlikely due to winter conditions (e.g., site covered with snow or ice), such inspection only has to be conducted once per month until thawing results in runoff or construction activity resumes.

Inspections can be performed by:

- a) a person with a valid certification from the "Fundamentals of Erosion Prevention and Sediment Control Level I" course,
- b) a licensed professional engineer or landscape architect,
- c) a Certified Professional in Erosion and Sediment Control (CPESC), or
- d) a person who has successfully completed the "Level II Design Principles for Erosion Prevention and Sediment Control for Construction Sites" course.

Qualified personnel, as defined in subsection 5.5.3.10 of the Permit (provided by the permittee or cooperatively by multiple permittees) shall inspect disturbed areas of the construction site that have not been permanently stabilized, areas used for storage of materials that are exposed to precipitation, structural control measures, locations where vehicles enter or exit the site, and each outfall.

Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the site's drainage system. Erosion prevention and sediment control measures shall be observed to ensure that they are operating correctly.

Outfall points (where discharges leave the site and/or enter waters of the state) shall be inspected to determine whether erosion prevention and sediment control measures are effective in preventing significant impacts to receiving waters. Where discharge locations are inaccessible, nearby downstream locations shall be inspected. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.

Based on the results of the inspection, any inadequate control measures or control measures in disrepair shall be replaced or modified, or repaired as necessary, before the next rain event if possible, but in no case more than 7 days after the need is identified.

Based on the results of the inspection, the site description identified in the SWPPP in accordance with section 5.5.1 of the Permit and pollution prevention measures identified in the SWPPP in accordance with section 5.5.2 of the Permit, shall be revised as appropriate, but in no case later than 7 days following the inspection. Such modifications shall provide for timely implementation of any changes to the SWPPP, but in no case later than 14 days following the inspection.

All inspections shall be documented on this Construction Stormwater Inspection Certification form. Alternative inspection forms may be used as long as the form contents and the inspection certification language are, at a minimum, equivalent to the Division's form and the permittee has obtained a written approval from the Division to use the alternative form. Inspection documentation will be maintained on site and made available to the Division upon request. Inspection reports must be submitted to the Division within 10 days of the request.

Trained certified inspectors shall complete inspection documentation to the best of their ability. Falsifying inspection records or other documentation or failure to complete inspection documentation shall result in a violation of this permit and any other applicable acts or rules.











Town of Kingston Springs  
 Building and Codes Department  
 PO Box 256  
 396 Spring Street  
 Kingston Springs, TN 37082  
 615-952-2110

## KINGSTON SPRINGS PLANNING COMMISSION APPLICATION FOR REVIEW

Date of Application: 7/18/23  
 Property Address/Location: 385 N. Main St.  
 Property Owner's Name: Will Andrews  
 Property Owner's Address: 1201 Demonbreun St. # 1460, Nashville, TN  
 Property Owner's Primary Phone #: 615-210-7195 Secondary #: 37203  
 Property Owner's Email: will@wacilc.com  
 Applicant's Name: Carolyn Fredericks  
 Applicant's Email: hello@fredandmanys.com Applicant's Phone #: 704-231-7113  
 Signature of Applicant: [Signature] Signature of Owner: \_\_\_\_\_

SELECT ITEM BELOW TO BE REVIEWED BY PLANNING COMMISSION:

**Residential:**

- \_\_\_\_\_ Sketch Plan: **\$100** (34125)
- \_\_\_\_\_ Site Plan: **\$150** (34125)
- \_\_\_\_\_ Preliminary Plat (Minor Sub – 5 lots or less): **\$350** (34125)
- \_\_\_\_\_ Preliminary Plat (Major Sub – 6 lots or more): **\$500** (34125)
- \_\_\_\_\_ Final Plat (Minor Sub – 5 lots or less): **\$150** (34125)
- \_\_\_\_\_ Final Plat (Major Sub – 6 lots or more): **\$300** (34125)
- \_\_\_\_\_ Final Plat Revision (Minor Sub – less than 5 lots): **\$350** (34125)
- \_\_\_\_\_ Final Recorded Plat Revision (Minor Sub – less than 5 lots): **\$150** (34125)

**Commercial:**

- \_\_\_\_\_ Concept Site Plan: **\$100** (34125)
- \_\_\_\_\_ Preliminary Plat: **\$500** (34125)
- \_\_\_\_\_ Final Plat: **\$300** (34125)
- \_\_\_\_\_ Final Recorded Plat Revision: **\$150** (34125)
- \_\_\_\_\_ Construction Drawing Review: **\$500** (34125)
- \_\_\_\_\_ Plan Review: **\$350** (34125)

**Other:**

- \_\_\_\_\_ Rezone Request: **\$150** (34125)
- Change of Use Request: **\$50** (34125)
- \_\_\_\_\_ Conditional Use Review: **\$100** (34125)
- \_\_\_\_\_ Final Plat Recording Fee: **\$50** (34125)

*Office to Retail*

**Design Review Committee Plan review (Commercial Construction):** Pass Thru fee from consultant. All new construction with the exception of single family and duplexes is subject to Design Review Pass Thru, including multi-family and major subdivisions.

**See Reverse Side for FINAL PLAT Requirements**

## FINAL PLAT Requirements (Residential and Commercial)

For appearances before the Kingston Springs Regional Planning Commission requesting approval of Final Plats:

- Once on the meeting agenda, but prior to appearance before the Kingston Springs Regional Planning Commission, two (2) mylars and three (3) paper copies signed by all appropriate representatives (with the exception of the Planning Commission Secretary) must be delivered to Kingston Springs City Hall.
- If two (2) mylars signed by all appropriate representatives (with the exception of the Planning Commission Secretary) are not available prior to the start of the meeting the agenda item will be tabled to the following month.
- If the Final Plat is approved the Kingston Springs Regional Planning Commission Secretary will sign both mylars.
- Payment of the \$50.00 Final Plat Recording Fee will then be due.
- Once the \$50.00 Final Plat Recording Fee is received the Final Plat will be delivered to the Cheatham County Register of Deeds office to be recorded and the applicant will be notified.
- If the \$50.00 Final Plat Recording Fee is not submitted prior to the following month's Kingston Springs Regional Planning Commission meeting, the Final Plat will be revoked at that meeting.

### OFFICE USE ONLY APPLICANT DO NOT WRITE BELOW THIS LINE

Date of Review: \_\_\_\_\_

Approved

Denied

Withdrawn

Planning Commission Review Fee: \$ \_\_\_\_\_

Recording Fee (if applicable): \$ \_\_\_\_\_

Pass Thru Fee (if applicable): \$ \_\_\_\_\_

**TOTAL FEES DUE:** \$ \_\_\_\_\_

Date Paid: \_\_\_\_\_

Amount Paid: \$ \_\_\_\_\_

Receipt Number: \_\_\_\_\_



**Town of Kingston Springs  
Receipt**

**Received By:** Jamie Dupre  
**Received On:** 07/20/2023 11:27 AM

**Batch:** JD - 7/20/2023  
**Receipt No:** 19016  
**Receipt Date:** 07/20/2023

**Amount Owed:** \$50.00  
**Fee Amount:** \$0.00  
**Amount Tendered:** \$50.00  
**Change Due:** \$0.00

**Application Information**

**Miscellaneous Receipt** \$50.00  
Change of use fee \$50.00

**Payment Information**

Fred & Mary's LLC - Check \$50.00

**Thank You!**

**Fred & Mary's LLC**  
1080 S Harpeth Road  
Kingston Springs, TN 37082

1576

PAY  
TO THE  
ORDER OF

Town of Kingston Springs  
fifty

DATE


7/20/23

87-863/640

\$ 50.00

**Pinnacle**

DOLLARS

 Security Features  
Included  
Detach on Back

FOR

KS Change of use



⑈00001576⑈

⑆064008637⑆

⑈800107808511⑈

MP



Town of Kingston Springs  
 Building and Codes Department  
 PO Box 256  
 396 Spring Street  
 Kingston Springs, TN 37082  
 615-952-2110

Applications will be processed in the order received and will be completed as soon as possible once all required submissions are provided by the applicant.

### Residential Building/Remodeling Permit Application

Type of Permit:	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Remodel/Repair
-----------------	------------------------------------	--	---

<b>INTERNAL USE ONLY</b>
Permit #:
Expiration Date:

<b>Property Owner Information</b>	
Property Owner's Name:	Aram Gupta
Phone Number:	615-218-9303
Email:	aram.gupta@comcast.net

<b>Property Information</b>			
Property Address:	399 Moores Circle		
City:	Kingston Springs	State:	TN
		Zip:	37082
Map/Parcel # (leave blank if not known):			

<b>Contractor Information</b>			
Company:	Contact Person:		
Address:	City:	State:	Zip:
Phone:	State of TN License #:		
Cell:	Cheatham County Business License #:		
Email Address:	<b>NOTE: Include Copies of Licenses and Proof of Insurance with Application</b>		

The information submitted in this Project Application may be used by the Town of Kingston Springs and/or any of its contractors or consultants. By signing below you certify that you are the owner of record of the named property, or that the proposed work has been authorized by the owner of record and that you have been authorized by the owner to make this application as his/her/their authorized agent. You agree to conform to all applicable laws, statutes, ordinances, and codes of this jurisdiction, including those adopted by reference. If the Town issues a permit for the work described in this Project Application, you certify that the Towns Code Enforcement Official or the Code Enforcement Official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the laws, statutes, ordinances, and codes applicable to such permit. I certify that the information and exhibits herewith are true and correct.

Property Owner       Contractor

Signature:

Print Name: **Aram K. Gupta**

Date: **July 19, 2023**



Town of Kingston Springs  
 Building and Codes Department  
 PO Box 256  
 396 Spring Street  
 Kingston Springs, TN 37082  
 615-952-2110

**PROJECT INFORMATION**

Type of Work:	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Addition:	<input type="checkbox"/> Remodel/Repair
---------------	------------------------------------	---	---

**Total cost of project:** \$150,000 (estimate)

**Current use of property:**  Vacant  Residential  Agriculture  Commercial  Other

**Description of work:**

- Covered front porch will be extended at existing depth along the existing house.
- Addition will include Mud Room, Bathroom, Office Space and Gym.
- A metal roof will be installed on all existing and addition.
- Siding, Doors, and Windows will be updated.

Square Feet Information	Existing s/f – <u>complete for additions only</u>	New s/f – added to existing footprint	Total s/f
First floor:	1,260	650.8	1,910.8
Second floor:			
Basement:			
Attached Garage			
Detached Garage			
Accessory Structure			
Deck			
Covered Porch/Patio	140	99.2	239.2
Driveway			

Total Rooms (including baths):	Exist 5 Add 3	Total Bedrooms:	Exist 2 Add 0	Total Baths:	Exist 2 Add 1	Total Stories:	1
--------------------------------	------------------	-----------------	------------------	--------------	------------------	----------------	---

- Will there be any plumbing covered by concrete in this structure?  Yes  No
- Will this be a monolithic slab?  Yes  No
- Will there be a crawl space?  Yes  No
- Will there be any sub-walls?  Yes  No
- Will there be a separate garage slab?  Yes  No

**CONTRACTOR AUTHORIZATION**

I, the contractor, authorize the property owner to pursue a building permit under my business license name and number.

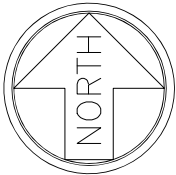
Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

# Site Plan

(May include on separate sheet)

	Distance to and location of any critical area, such as stream, creek, river, irrigation ditch, floodplain
	Street frontage
	Access/Driveway
	Lot lines and dimensions
	Location of all structures and specific use (any new buildings will require building permits)
	Location of well, septic, and drain field
	Distances between all structures and property lines
	Easements and/or right-of-way and any overhead or underground utility lines

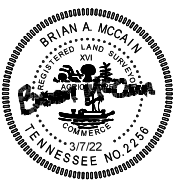
**ATTACHED: Survey and Architect Building Plans**



**LEGEND**

- PROPERTY LINE
- X-X- FENCE LINE
- G- GAS LINE
- S- SEWER LINE
- ST- STORM LINE
- W- WATER LINE
- M.B.S.L- MIN. BLDG. SETBACK LINE
- OHP/T- OVERHEAD POWER OR TELE.
- P.U.D.E- PUBLIC UTILITY & DRAINAGE EASEMENT
- BHO BOREHOLE
- EMO ELECTRIC METER
- FHD FIRE HYDRANT
- GMO GAS METER
- IPO/IPS IRON PIN NEW / SET
- MON MONUMENT
- POSTO POST
- WM WATER METER
- WELLO WELL
- YH YARD HYDRANT
- CATCH BASIN
- DECIDUOUS TREE
- EVERGREEN TREE
- GAS VALVE
- LIGHT POLE
- MAILBOX
- MANHOLE
- POWER POLE
- SIGN
- SV SEWER VALVE
- WATER VALVE

**ENERGY FIT SOLUTIONS, INC.**  
 450 WEST KINGSTON SPRINGS ROAD  
 TAX MAP 96B, GROUP "A", PARCEL 3.00  
 RECORD BOOK 574, PAGE 541  
 (R.O.C.C., TN)



**BARBARA J. FORREST**  
 425 MT. PLEASANT ROAD  
 TAX MAP 96B, GROUP "A", PARCEL 18.00  
 RECORD BOOK 514, PAGE 321  
 (R.O.C.C., TN)

**NORMAN B. BUTLER, JR.**  
 405 MT. PLEASANT ROAD  
 TAX MAP 96B, GROUP "A", PARCEL 15.00  
 RECORD BOOK 61, PAGE 769  
 (R.O.C.C., TN)



IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

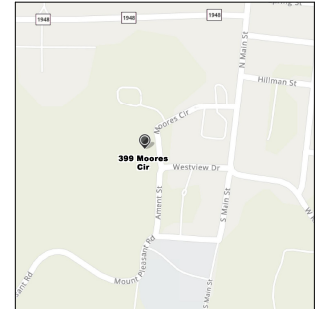
**JOSHUA L. JACKSON**  
 397 MOORES CIRCLE  
 TAX MAP 96B, GROUP "A", PARCEL 10.01  
 RECORD BOOK 549, PAGE 1382  
 LOT 5 - MOORE CIRCLE  
 PLAT BOOK 2, PAGE 52  
 (R.O.C.C., TN)

**BRIAN A. SLANAKER**  
 403 AMENT STREET  
 TAX MAP 96B, GROUP "A", PARCEL 12.00  
 RECORD BOOK 268, PAGE 828  
 (R.O.C.C., TN)

**MICHAEL TURNER**  
 409 AMENT STREET  
 TAX MAP 96B, GROUP "A", PARCEL 13.00  
 RECORD BOOK 306, PAGE 198  
 (R.O.C.C., TN)

**WILLIAM WHITE**  
 411 AMENT STREET  
 TAX MAP 96B, GROUP "A", PARCEL 14.00  
 RECORD BOOK 541, PAGE 1594  
 (R.O.C.C., TN)

**AREA:**  
 88,132 sq.ft. or 2.02 Ac.±



**VICINITY MAP**  
 N.T.S.

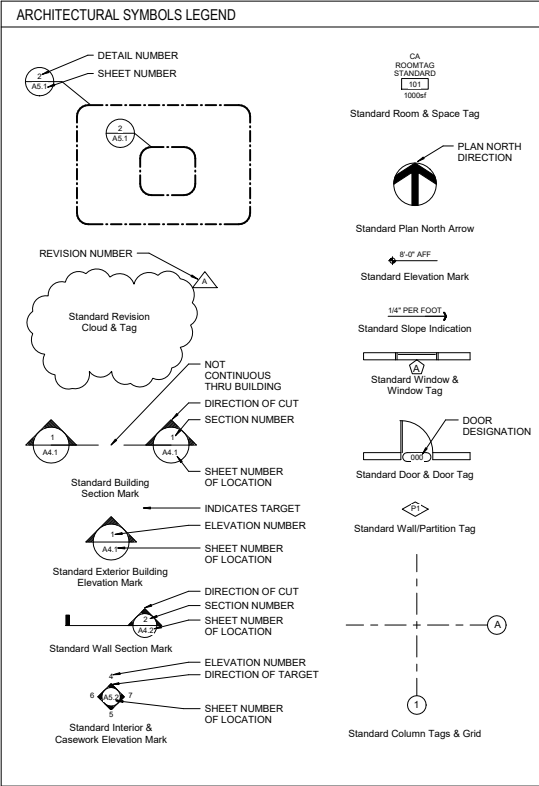
**NOTES:**

1. The purpose of this plat is to consolidate 3 parcels into one parcel.
2. This survey meets the requirements of a "General Property Survey" as per standards of practices, 0820-3-.07(1) adopted by the Board of Examiners for Land Surveyors, State of Tennessee. This survey also meets the requirements of "Maps and Mapping" as per standards of practices, 0820-3-.06 adopted by the Board of Examiners for Land Surveyors, State of Tennessee.
3. Bearings are based on the Tennessee State Plane Coordinate System NAD83 (Horizontal) and NAVD88 (Vertical).
4. Distances were measured with E.D.M. equipment and have been corrected for temperature and barometric pressure.
5. This survey was made using the latest recorded deeds/plats of record. No title report was furnished this surveyor, therefore, this survey is subject to the findings of a complete title search. The state of facts shown hereon are based on a professional opinion in regards to information obtained during the survey and does not constitute a warranty or guarantee, expressed or implied.
6. This property is located in an area designated "Zone X" as per the National Flood Insurance Program, Map No. 47021C0301E Dated: 12/22/2016 and is NOT in a flood prone area.
7. This surveyor has not physically located the underground utilities. Above grade and underground utilities shown were taken from visible appurtenances at the site, public records and/or maps prepared by others. The location and/or existence of utility service lines to the property surveyed are unknown and are not shown. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon the type, size, and location of utilities shown should be done so with this circumstance considered. Detailed verification of existence, location and depth should also be made prior to any decision relative thereto is made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners, no less than three (3), nor no more than ten (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One-call 1-800-351-1111.
8. Information shown hereon was derived from random shots, cross sections, and radial shots.
9. For: Aram Gupta.
10. Setbacks: Front = 40' Sides = 15' Rear = 20'
11. Current Zoning: R2

**BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY**  
**ARAM K. GUPTA, ET UX PROPERTY**

**399 MOORES CIRCLE**  
**TAX MAP 96B, GROUP "A", PARCEL 11.00**  
**RECORD BOOK 578, PAGE 2066 - R.O.C.C., TN.**  
**LOT 6 - MOORE CIRCLE**  
**PLAT BOOK 2, PAGE 52 - R.O.C.C., TN.**  
**11TH CIVIL DISTRICT**  
**KINGSTON SPRINGS, CHEATHAM COUNTY, TENNESSEE**  
**SCALE: 1" = 40' DATE: 3/7/22**  
**DRAWN BY: BAM PROJECT NO. 21-2310**

ABBREVIATIONS			
ABV	Above	MH	Manhole
ACT	Acoustical Ceiling Tile	MILDG	Moulding
AFF	Above Finish Floor	MO	Masonry Opening
ALUM	Aluminum	MTL	Metal
		M/R	Moisture Resistant
BD	Board	N/A	Not Applicable
BLK	Block	NIC	Not in Contract
BLKG	Blocking	NTS	Not To Scale
BOT	Bottom		
BRG	Bearing		
CAB	Cabinet	OF	Owner Furnished
C-C	Center To Center	OFE	Owner Furnished Equipment
CG	Corner Guard	OD	Outside Diameter
CJ	Control Joint		
CLG	Ceiling	PL	Plate
CLR	Clear	PLYWD	Plywood
CMU	Concrete Masonry Unit	PR	Pair
COL	Column	PT	Pressure Treated
CONC	Concrete	PTD	Painted
CONT	Continuous	PVMT	Pavement
CORR	Corridor	QT	Quarry Tile
CPT	Carpet	R/A	Return Air
CT	Ceramic Tile	RCP	Reflected Ceiling Plan
CW	Clerestory Window	RD	Roof Drain
		REV	Revised - Revised - Revision
DTL	Detail	RM	Room
DF	Drinking Fountain	RTU	Roof Top Unit
DS	Downspout		
DW	Dishwasher		
E/A	Exhaust Air	S/A	Supply Air
E/FS	Exterior Insulation Finish System	SC	Solid Core
EJ	Expansion Joint	SS	Stainless Steel
EOP	Edge of Pavement	STD	Standard
EWC	Electric Water Cooler	STL	Steel
FD	Floor Drain	TLT	Toilet
FE	Fire Extinguisher	TOC	Top of Concrete - Curb
FEC	Fire Extinguisher & Cabinet	TOM	Top of Masonry
FF	Finish Floor	TOP	Top of Pavement
FFE	Finish Floor Elevation	TOS	Top of Steel - Slab
FHC	Fire Hose Cabinet	TOW	Top of Wall
FH	Fire Hydrant	UNO	Unless Noted Otherwise
FOC	Face of Concrete	VB	Vapor Barrier
FOF	Face of Finish	VCT	Vinyl Composite Tile
FOH	Face of Masonry	VWC	Vinyl Wall Covering
FOS	Face of Studs	W	With
FT	Fire Treated	W/O	Without
FV	Field Verify	W/R	Water Resistant
GFCI	Ground-Fault Circuit Interrupt	WC	Water Closet
GYP BD	Gypsum Board	WD	Wood
HB	Hose Bib	WH	Water Heater
HM	Hollow Metal	WP	Waterproofing (waterproof)
HR	Handrail	W-W	Wall to Wall
HT	Height	WWM	Welded Wire Mesh
ID	Inside Diameter	&	And
JT	Joint	AL	Center Line
KDAT	Kiln Dry After Treating	Ø	Diameter
LF	Linear Foot	#	Number / Pounds
		±	Plus-or-Minus
		°	Degree



### ARCHITECTURAL MATERIALS LEGEND

	Steel (Detail & Section)		Asphalt Paving (Section & Detail)
	Aluminum (Section & Detail)		Earth (Section)
	Concrete (Detail & Section)		Gravel (Section)
	Exposed Concrete Ceiling (Plan)		Plywood/GLULAM (Detail & Section)
	Concrete Masonry Units/CMU (Plan, Detail & Section)		Finish Lumber (Detail & Section)
	Concrete Masonry Units/CMU (Elevation)		Structural Lumber (Detail & Section)
	Brick (Plan, Detail & Section)		Blocking (Detail & Section)
	Brick (Elevation)		Rigid Insulation (Detail & Section)
	Gypsum Board - Gyp Bd (Detail & Section)		Batt Insulation (Plan, Section & Detail)
	Plaster, Stucco & EIFS (Plan & Elevation)		Glass (Elevation)
	Gypsum Board - Gyp Bd (Reflected Ceiling Plan)		
	Grout (Section & Detail)		
	Asphalt Shingle Roofing (Plan & Elevation)		

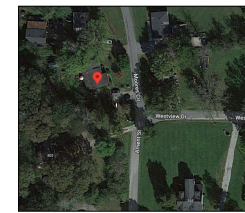
- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS.
  - THE BUILDER MUST FIELD MEASURE & VERIFY EXISTING BUILDING CONDITIONS TO ASSURE THE DIMENSIONS SHOWN ON THE DRAWINGS CAN BE OBTAINED BEFORE STARTING CONSTRUCTION.
  - CLEARANCE DIMENSIONS SHALL BE MAINTAINED. ALIGN NEW CONSTRUCTION WITH EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
  - VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
  - NOTIFY THE OWNER &/OR ARCHITECT OF ANY VARIATION REQUIRED IN THE DIMENSIONS, WHETHER NOTED FOR VERIFICATION FOR THE INSTALLATION OF EQUIPMENT OR NOT, BEFORE CONTINUING WITH THE WORK.
  - IN THE EVENT DISCREPANCIES ARE FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL BE REQUIRED TO NOTIFY THE OWNER &/OR ARCHITECT BEFORE CONTINUING WORK IN QUESTION.
  - REFER TO INDIVIDUAL SHEETS FOR ADDITIONAL DRAWING NOTES.
  - DIMENSIONS ARE FROM FACE OF EXISTING CONSTRUCTION UNLESS OTHERWISE INDICATED.
  - PATCH, REPAIR AND/OR REPLACE EXISTING FINISHES AS REQUIRED TO INTEGRATE NEW CONSTRUCTION TO ADJACENT SURFACES.
  - ALL ABANDONED FLOOR, GROUND, AND/OR WALL PENETRATIONS SHALL BE PATCHED AND REPAIRED TO MAINTAIN ITS INTEGRITY.
  - CONCEAL ALL CONDUIT IN WALLS AND IN CEILING FURR OUT WALLS AS NECESSARY.
  - ALL WOOD USED IN AREAS WHERE EXPOSURE TO MOISTURE IS POSSIBLE AND AT EXTERIOR WALLS SHALL BE TREATED TO RESIST ROT.
  - THE BUILDER SHALL BE RESPONSIBLE FOR PHASING CONSTRUCTION SEQUENCES WITH THE OWNER IN ORDER TO FACILITATE THE OWNER'S CONTINUING USE OF THE HOUSE. THIS SHALL INCLUDE PROVIDING FOR APPROVED ENTRANCES AND EXITS FROM THE HOUSE AND TEMPORARY PROTECTIVE WALLS AND DUST PARTITIONS.
  - THE BUILDING ENVELOPE MUST BE SEALED & SECURED AT THE END OF EACH WORKING DAY. THE BUILDER WILL TAKE THE NECESSARY PRECAUTIONS AND ERECT TEMPORARY BARRIERS AS NECESSARY.
  - THE BUILDER SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE BUILDER'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE BUILDER.
  - THE BUILDER SHALL COORDINATE THE LOCATION AND INSTALLATION OF BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT AND ASSOCIATED WORK ARE PROVIDED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SYSTEMS: MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, & TELEPHONE.
  - DURING DEMOLITION WORK, THE BUILDER IS RESPONSIBLE FOR MAINTAINING THE STRUCTURAL STABILITY OF THE HOUSE. IF THERE IS ANY QUESTION REGARDING THE STRUCTURAL NECESSITY OF AN ITEM TO BE REMOVED, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
  - UNLESS APPROVED BY THE OWNER, THE BUILDER, THE BUILDER'S EMPLOYEES, AND SUBCONTRACTORS ARE NOT TO USE THE HOUSE'S TOILET FACILITIES OR ANY OTHER AMENITIES IN THE HOUSE.
  - UNDER NO CIRCUMSTANCES SHALL THE BUILDER, THE BUILDER'S EMPLOYEES, OR SUBCONTRACTORS BE IN ANY PART OF THE HOUSE THAT IS NOT INCLUDED IN THIS SCOPE OF WORK.

# GUPTA RESIDENCE FRONT PORCH & OFFICE/GYM ADDITION

## 399 MOORES CIRCLE KINGSTON SPRINGS, TN 37082

### CONSTRUCTION DOCUMENT/ PERMIT SET

#### 05.25.2023

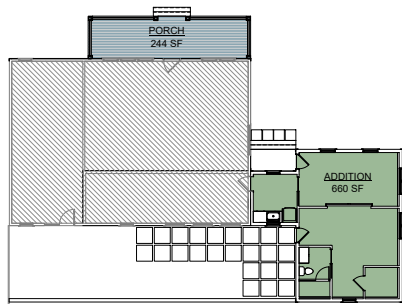


CONTRACTOR TO COORDINATE WITH OWNER ON THE FOLLOWING ITEMS (SEE DRAWINGS FOR ADDITIONAL ITEMS NOT LISTED):

- MASONRY SIZE & COLOR
- ALL INTERIOR FINISHES, INCLUDING DOOR & WINDOW CASINGS
- OUTLET, DATA & SWITCH LOCATIONS
- SONG STYLE, EXPOSURE & COLOR
- DOOR & WINDOW STYLES & FINISHES
- LIGHT FIXTURE STYLES & TYPE
- APPLIANCE LOCATIONS
- CASEWORK STYLE & FINISH
- PLUMBING FIXTURE STYLES & FINISHES
- KITCHEN APPLIANCES

**LUMBER PACKAGE NOTE:**  
ALL STRUCTURAL FRAMING & ACCESSORIES ARE TO BE PER THE LUMBER PACKAGE. ANY STRUCTURAL FRAMING MEMBER SHOWN IN THE DRAWINGS IS TO BE VERIFIED BY THE LUMBER PACKAGE FOR COORDINATION PURPOSES. THE ARCHITECT REQUESTS TO REVIEW THE LUMBER PACKAGE DRAWINGS PRIOR TO PLACING THE ORDER.

SHEET LIST	
NO.	NAME
A0.0	GENERAL INFORMATION
A0.1	GENERAL NOTES
A0.2	GENERAL NOTES
A1.0	SITE & FOUNDATION PLANS
A1.1	DEMOLITION PLANS
A1.2	FLOOR PLAN
A1.3	RCP & ROOF PLAN
A2.0	ELEVATIONS & DETAILS
A2.1	3D VIEWS
A3.0	BUILDING SECTIONS
A4.0	WALL SECTIONS
A5.0	ENLARGED PLANS & ELEVATIONS



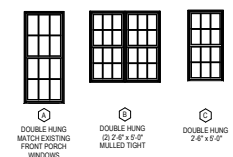
### WALL TYPES

	(1) LAYER 1/2" GYP. BD. EA. SIDE OF 2x4 WOOD STUDS @ 16" O.C. WITH BATT INSULATION
	(1) LAYER 1/2" GYP. BD. ON 2x4 WOOD STUDS @ 16" O.C. - OWNER TO COMPLETE SALINA WALLS
	VINYL SIDING ON 3/4" PLYWOOD SHEATHING W/ WEATHER BARRIER ON 2x6 WOOD STUD @ 16" O.C. WITH BATT INSULATION WITH 1/2" GYP. BD.
	VINYL SIDING ON 3/4" FURRING STRIP W/ WEATHER BARRIER ON 8" CMU WALL WITH 1/2" GYP. BD. ON FURRING STRIPS

2 | AREA PLAN  
SCALE: 3/32" = 1'-0"

### DOOR SCHEDULE

NUMBER	WIDTH	HEIGHT	COMMENTS
100A	2'-8"	6'-8"	BASED OPENING
100B	2'-8"	6'-8"	POCKET DOOR
100A	2'-8"	6'-8"	EXTERIOR DOOR
100A	6'-0"	6'-8"	BARN DOOR
100B	2'-8"	6'-8"	EXTERIOR DOOR
101	2'-8"	6'-8"	POCKET DOOR
104	2'-8"	6'-8"	BATHING DOOR



**GENERAL DOOR SCHEDULE NOTES:**

- ALL HARDWARE TO MEET ACCESSIBILITY REQUIREMENTS OF A.H.J.
- DOOR, DOOR STYLE & DOOR HINGING WITH OWNER.
- PROVIDE WEATHER STRIPPING ON ALL EXTERIOR DOORS.

**GENERAL WINDOW SCHEDULE NOTES:**

- ALL HARDWARE TO MEET ACCESSIBILITY REQUIREMENTS OF A.H.J.
- 2x6x8 DIVIDE ARE NORMAL OPENING SIZES. G.C. TO COORD. ROUGH OPENING SIZES WITH WINDOW MANUFACTURER.
- COORD. COLOR & GRILL PATTERN WITH OWNER.
- INSTALLATION TO BE PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



Paul Butts, AIA, LEED AP  
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615-480-5123

Sabrina Butts, LEED BD&C  
sbutts@jabb-arch.com  
615-480-7177

www.jabb-arch.com  
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### CONSTRUCTION DOCUMENT/ PERMIT SET

### GUPTA RESIDENCE FRONT PORCH & OFFICE/GYM ADDITION

399 MOORES CIRCLE  
KINGSTON SPRINGS, TN 37082

These documents and the designs shown are the property of the Architect and have been specifically prepared for the project named herein. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect. Reproduction is prohibited without written consent and any infringement will be subject to legal action.

REVISION DATA

2022-15 05.25.2023  
GENERAL INFORMATION

# A0.0

**DIVISION 1 GENERAL REQUIREMENTS**

- 1.01 GENERAL: The work shall comply with applicable local and state codes, ordinances, resolutions and amendments and other authorities having jurisdiction. The work shall comply with interpretations of the local building official. If the interpretation of the local building official is at variance with these documents, inform the Architect before proceeding.  
The Contractor shall be fully licensed and insured to perform the Work, and work performance certificates upon request to the Owner as proof thereof.  
These notes are written to the Contractor. When sentences do not state to whom they are written or mention a particular party, the sentence is directed at the General Contractor.
- 1.02 CONSTRUCTION METHODS AND TECHNIQUES: The Architect is not responsible for construction means, methods, techniques, procedures, or for safety measures in connection with the work, and shall not be held responsible for the failure of the Owner, Contractor, Subcontractors or anyone performing the work, to carry out the work in accordance with the Contract Documents.
- 1.03 FIELD CONDITIONS AND DIMENSIONS: Rely on site dimensions and conditions. Note dimensions take precedence over scaled dimensions. Notify Architect promptly of discrepancies within drawings and discrepancies between field conditions. Change before construction.
- 1.04 TYPICAL CONDITIONS: The General Notes and Typical Details apply throughout the job unless indicated otherwise. Where conditions are not specifically shown or detailed, provide the character and quality of work as that indicated for similar conditions.
- 1.06 DRAWING COORDINATION: Coordinate and compare drawings between the different consultants and trades and promptly notify the Architect of discrepancies found. If dimensions are in question, the Contractor shall be responsible for obtaining clarification from the Architect before construction.
- 1.08 STRUCTURAL NOTES: Notify Architect if there are discrepancies between these General Notes and notes on Structural Drawings. If Owner chooses, to waive the use of a qualified Structural Engineer, he bears the responsibility of unforeseen delays and problems due to structural miscalculations.
- 1.07 TEMPORARY BRACING - Use temporary bracing as required to stabilize foundation and basement walls and superstructure until permanent construction is in place.
- 1.08 LIVE LOADS: Install framing material using the following loads:  
Bedrooms 30 PSF (Except for Buildings Use Group R-3, 4, 5) PSF  
Bathrooms 60 PSF  
Garage 30 PSF Live Load  
Roofs 50 PSF  
Attic floor 20 PSF  
Covered porches 30 PSF of depth  
Classrooms 100 PSF  
Rallies 50 PSF  
Kindred 15 PSF  
Living area 40 PSF
- 1.09 Mechanical units and other equipment with weights shown in plan and approved by the structure were considered in the design of the structure. Notify Architect before installing additional equipment shown on Structural Drawings, weighing more than 400 pounds.
- 1.10 The basic stability of the structure is dependent upon the adhesion of masonry, tile, steel, and wood loads and final connections between these elements are made.
- 1.11 Provide gyps, bracing, struts, etc. as required to accomplish full, dead, and wind loads and final connections between these elements are made.
- 1.12 NOT USED
- 1.13 FIRE RATED ASSEMBLIES: It is the responsibility of the General Contractor and his Subcontractors to verify and construct rated assemblies to comply exactly with the requirements of the fire reports listed. Notify Architect promptly and gain approval of changes in materials before constructing with changed material. Provide continuous fire rated assemblies unless otherwise noted. If there are discrepancies or inconsistencies between assembly material and material specified or indicated on drawings, contact Architect for clarification.
- 1.14 RADON TESTING - Contractor to investigate site and conduct necessary tests to insure that radon gas does not exceed state limits as mandated by State and local laws. Notify Architect and local Environmental Authority before beginning construction. Radon gas testing may be required.
- 1.15 Seal horizontal and vertical penetrations in the exterior wall caused by its trade.
- 1.16 Patch and repair sheathing penetrations caused by erection following manufacturer's written instructions.
- 1.17 Submit staining/water details of the office of the Building Inspector for approval before construction, if applicable.
- 1.18 Where applicable provide access under floor for lead test 30" deep and vent space with screened openings having a clear area of not less than three (3) percent of the enclosed building volume. Note: omit venting in sealed crawl spaces.
- 1.19 Locate and provide stairs, mechanical, electrical and plumbing services, anchors, vent openings, etc. as required by manufacturers written instructions.
- 1.20 Basement and foundation walls are dependent upon the completed installation of floors for their stability. Do not place backfill until these elements are completely installed, or before storage and bracing has been provided.
- 1.21 CLEANING - The Contractor shall maintain the basic clear of trash and debris and remove all waste material prior to substantial completion and final acceptance. Contractor shall perform a thorough and professional cleaning prior to final acceptance.
- 1.22 OWNER'S MANUAL - The Contractor shall present to the Owner upon completion of the Work an Owner's manual containing all product performance, maintenance and warranty information.
- 1.23 PROTECTING CONSTRUCTION - Contractor to protect installed construction. Contractor is responsible for any damage to the work until final acceptance. Contractor shall replace any damaged work.

**DIVISION 2 SITEWORK**

- 2.01 These Drawings cover schematic location, excavation grading and landscaping. Contractor shall review the documents and provide necessary site work, excavation, and grading as required to complete the work.
- 2.02 SITE PREP: The area of clearing shall be maintained within the limits shown on the appropriate site plan. Remove stumps and mill/dump to a depth of 24 inches below existing ground surface. Dispose of trees and stumps in accordance with applicable garbage, refuse or woods ordinance. Do not burn materials on site unless given specific permission by the local authority.
- 2.03 BACKFILL AND COMPACTION: Use only clean, well sorted earth containing no organic material, trash, muck, rocks, logs, slumps, concrete, or other deleterious substance. Compact backfill to 95 percent of maximum density as determined by the ASTM D2922 (Standard Proctor) test. Do not backfill against masonry walls until superstructure is in place. Clean existing surfaces of refuse or organic materials before placing fill. Backfill in lifts of 8" depth. Compact and approve soil material before placement. Equipment used for pressure of soil backfill shall not exceed 30 PSF uniform class 5M or better.
- 2.04 SOIL BEARING - Foundation designs are based on a soil bearing value of 2000 psf. Foundations and slabs are designed to uniformly bear on well-compacted, well-drained non-expansive soils. A certified soils engineer shall review foundation designs and building loads and compare with subsurface soil investigation. Should on site observations show that foundation designs are not satisfactory, notify the Architect before proceeding with any work.
- 2.05 INSPECTIONS - Notify and arrange for Building Official to inspect footing excavations before placing concrete.
- 2.06 SOIL INVESTIGATION AND REPORT - Perform earthwork, compaction and foundation work based on soils investigation report provided by the Owner. Soils values are to be determined by soils engineer licensed in the state for construction project. The Owner's bearing soils investigation bears responsibility of complications resulting from construction on sub-quality soil.
- 2.07 Contractor to have licensed surveyor locate structure on site and verify the structure is within all required setbacks to site construction.
- 2.08 All topsoil in area of the Work to be removed and stored on site for reuse
- 2.09 SITE CLEARING - Clear and grub the construction site with appropriate soils. Existing trees to remain shall be marked prior to clearing and protected to prevent damage. If any damage is done to walkways, driveways, etc. needed repairs shall be provided by the contractor. Repair or replace any damaged vegetation or other features that is indicated to be protected or to more than eight feet from the edge of any construction.
- 2.10 SOIL TREATMENT FOR TERMITE CONTROL - Apply borate to soil in entire area to be occupied by structure and to 2'0" beyond perimeter line of foundation. Use approved borate with a five year guarantee. Note: This item may be waived if site conditions do not warrant it and with the Owner's written approval.
- 2.11 FOUNDATION DRAINAGE PIPING - Install a minimum 7" slotted drain pipe with a positive outflow around inside and outside of the exterior wall footings, embedded in a nose 18 gauge, minimum 12" deep. Slotted drain pipe should be wrapped with an approved geo technical fabric to prevent soil buildup. Install other drain necessary for positive site drainage.
- 2.12 TOPSOIL - A three (3") inch cover of topsoil of appropriate soil amendment shall be spread uniformly over the soil (0 lbs per 100 sq. ft.) and tilled into the top six (6") inches of soil. Topsoil shall be a natural, fertile, loam soil typical of productive soil in the vicinity, obtained from local sources. Channel areas. Retain all areas indicated on plans and on areas damaged by construction, to depth of 4", removing stumps, fill foreign objects, and stones larger than one inch diameter. Place topsoil on all areas and incorporate by raking into subsoil.
- 2.13 SEEDING AND SOIL SUPPLEMENTS - Seed only when weather conditions are suitable. All newly seeded lot areas shall be free of broadcast weeds. Sow seed with mechanical spreader at the specified rate on a calm day. Sow one half the seed in one direction and the other half at right angles. Seed shall be shaded lightly into soil to a depth of 1/4" and watered in. Seed shall be watered in every 2-3 days for the first 10 days, then watered in every 3-4 days for the first 30 days. Water the soil until the grass shows uniform germination over the entire area. Wherever poor germination occurs in areas larger than three (3) square feet, reseed, roll and water as necessary to obtain proper germination. Infested areas shall be treated with a selective broadcast insecticide. Thrice or approved equal.

**CONCRETE**

- 3.01 Shall reach minimum compressive strength of FC at 28 days after installation. Pour concrete following ACI 3.01 Specification. An entrain concrete that will be exposed to weather.
- 3.02 MINIMUM SPECIFIED COMPRESSIVE STRENGTH - Type of location of Concrete Concrete FC - Pounds per square inch minimum  
Basement slabs and interior slabs on grade, except garage floor slabs - 2,500 PSI  
Basement walls, foundation walls exterior walls and other vertical concrete work exposed to the weather - 3,000 PSI  
Piers, capcors slabs and steps exposed to the weather, and garage floor slabs - 3,500 PSI
- 1. PSI rating at 28 days
- 2. Air-entrain concrete subject to freezing and thawing during construction with total air content, percent by volume, of concrete falling between 5 and 7 percent.
- 3. Do not use additives without specific approval from Structural Engineer. Do not use additives containing calcium chloride.
- 3.03 COMPACTION - Compact slabs and footings to 95%. Verify compaction through in-place density tests by a qualified Soils Engineer Consultant.
- 3.04 CONCRETE SPECIFICATIONS - All concrete work shall be designed on the basis of "Strength Design" per ACI 318 "Building Code Requirements for Structural Concrete". Concrete work shall be proportioned in accordance with ACI 309 "Specifications for Structural Concrete" and ACI 211.1 "Recommended Practice for Selecting Proportions for Normal Weight Concrete". Concrete slabs, piers, chimevents, walls and foundations shall be constructed of a minimum 3000 to 3000 psi concrete, 28 days with 4" minimum to 5" maximum slump, air-entrainment 5 to 6%. No additional water shall be added to concrete after slump test is completed. Concrete should be a mix of high grade Portland cement, clean sand, or granite #1 and washed gravel or crushed stone as coarse aggregate per ACI 309. Maximum aggregate size shall be #4. All aggregates shall conform to ASTM C33. Gravel should be well graded and not exceed 1 1/2" in size. Water shall not exceed 1/2 gallons for each bag, unless used in a very dry. Concrete shall be mixed using an approved batch machine or mobile mixer uniform in color and providing a 4" minimum to 6" maximum slump.
- 3.05 REINFORCING STEEL - Reinforcing steel (rebar) shall be minimum ASTM A101, grade 40. All reinforcement splices shall be as follows: #5 bars 20" minimum, #7 and #8 24" minimum. All rebar (reference steel) shall be located 2" clear from bottom and side of footing and 4" clear from top. All reinforcement splices shall be in accordance with ACI 318 for "Strength Design". All reinforcement steel shall be accurately placed, rigidly supported, and firmly tied in place with supports and spacers in accordance with ACI 301 and ACI 318.
- 3.06 WELDED WIRE MESH - Welded wire fabric shall conform to ASTM A1015 and be located in the center of the depth, install at slab on grade conditions.
- 3.07 ANCHOR BOLTS - In abutted wall conditions, provide 12" diameter 1/2" thread anchor bolts in filled slabs and poured concrete walls 4" on center (OC) maximum plus all at window locations and on each side of exterior doors. For slabs, install appropriate tie downs or straps as required by applicable building codes.
- 3.08 FOOTINGS - Center all footings on walls, piers, or columns unless otherwise noted. All footings shall rest on undisturbed virgin soil with minimum soil bearing capacity of 2000 psf. Unless 95 percent compaction, or 3/4" stone compacted to 12" fill to 95 percent density if it is required. Footings of building perimeter shall be a minimum of 12" below frost line construction of 3000 psi concrete. Each side should exceed 2'0", with a 90 degree bend. Footings shall rest on undisturbed soil and kept free from ground water. Underneath load-bearing walls and interior or exterior column footings, include slabs within a 1' radius to 12" thick.
- 3.09 SLAB FOUNDATIONS - Concrete floor slabs shall be constructed of 3000 psi concrete, 28" thick reinforced with 10 gauge #4 x 6" welded wire mesh continuous and other reinforcing steel as per plans. Place slabs over well compacted granular fill compacted in 12 inch lifts to 95 percent density per ASTM D 1585 Proctor, and a 10 mil vapor barrier. Construction or control joints in slabs on grade to be placed at the maximum area between joints shall be 40% to 50% of the length of that area is not more than two feet. Provide finished steel trowel finish for interior side a tress and garage surfaces. Provide broom finish texture for all exterior slabs. Slope exterior patio or porch slabs away from building at 1/4" drop elevation for every 1' in distance. At garage slab, provide positive drainage and taper lip at garage edge.
- 3.10 POURING CONCRETE BASEMENT WALLS - Poured walls shall be constructed of 3000 psi concrete with #5 rebar (reinforcing steel) at grid of 12" x 12" on center (OC) spacing. Rebar to extend a vertical distance above finished grade. Thickness of walls shall be a minimum of 8" thick for 6'0" high, 10" thick for 6'0" high to 12' high. Patch all voids and penetrations exceeding 3/8 inch in any direction. Provide appropriate waterproofing system around the exterior perimeter and changes as specified by manufacturer's recommendations.
- 3.11 EXPANSION JOINTS - Provide 1/2" thick by 1/2" wide bituminous expansion joint material at all surfaces where slabs adjoin raised slab, crawlspace or basement stem wall CMU or poured foundations.
- 3.12 FORMWORK - Brass wall, and place two to dimension, level and plumb.
- 3.13 Provide clear distance to outdoor reinforcing and concrete protection for reinforcing as follows:  
Footings: 2" bottom  
Pier: 1- 1/2" to toes  
Walls: 2" outside face, 1- 1/2" inside face  
Garage slab beams: 1" to top, 3" bottom
- 3.14 Raise side of door openings between the garage and adjacent interior spaces at least 4" above the garage floor. Provide structural Garage slabs when fill is required by 8".
- 3.15 STUCCO FINISHING - 3 step portland cement stucco. Apply self leveling, paper backed galvanized metal lath over weather barrier. Install scratch coat, brown and top coat with metal coat. Provide control joints on that panel size does not exceed 144 square feet. No panel should exceed 3'0" in either direction. Panel should not exceed 2'12" in length to width.

**FOUNDATION**

- 4.01 Provide concrete masonry units (CMU), ASTM C-90, Grade A for load bearing masonry. ASTM C-140 Grade B for solid block; minimum net compression strength 2,000 PSI.
- 4.02 MORTAR TYPE - Provide mortar conforming to ASTM C-270; compressive strength 2,500 PSI.
- 4.03 MASONRY REINFORCEMENTS - A HORIZONTAL REINFORCEMENTS - Durs wall at 16" O.C. vertically. No reinforcing required on wall less than 4 courses high. B. Unless otherwise noted, reinforce masonry foundation walls as follows if applicable:  
FULL HEIGHT REINFORCING  
0 to 2'0" none  
2'11" to 4'0" #4 @ 48" c.c.  
5'1" to 7'0" #6 @ 36" c.c.  
7'1" to 8'0" #6 @ 18" c.c.  
Provide downs from footings to masonry walls. Match size and spacing of vertical reinforcing. Reinforced cores solid.
- 4.04 SOLID MASONRY - Provide minimum 4" deep below concentrated loading conditions. Filled or provide solid top courses of block foundation walls, including the courses under window sills.
- 4.05 Provide the following Letters for masonry walls:  
A: 1" to 4" thick, 4" x 3 1/2" x 8 1/2" with 3/16" Horizontal  
Openings to 2'0" 3" x 3 1/2" x 3 1/2"  
B: 1" to 6" thick, 6" x 3 1/2" x 8 1/2" with 3/16" Horizontal  
5 1/2" to 6" thick, 6" x 3 1/2" x 8 1/2" with 3/16" Horizontal  
6" to 8" thick, 6" x 4" x 8" with 3/16" Horizontal  
9" to 10" thick, 8" x 4" x 8" with 3/16" Horizontal
- 4.06 NATURAL STONE MASONRY - 4" stone veneer, color as selected by Architect and Owner.
- 4.07 MORTAR AND MASONRY GROUT - Mortar shall be Type "M" or "S" in accordance with ASTM C270, 2500 psi. Grout shall be in accordance with ASTM C270, Type M, 2500 psi concrete using sand or coarse aggregate with a maximum aggregate size of 3/8" and a 4" minimum to 11" maximum slump. Mortar joints shall be 3/8" thick. Bedding, chimevents, and other joints shall be 1/2" - 3/4" deep and not exceed 24 inches. In cold weather, mix shall be used in masonry work. In hot weather, add water as needed to supplement evaporation losses. In cold weather, when air temperatures range between 32 and 40 degrees Fahrenheit, heat mixing water or aggregate to between 70 degrees and 160 degrees Fahrenheit maximum. When air temperature is below 32 degrees Fahrenheit heat both the mixing water and aggregate to between 70 degrees and 160 degrees Fahrenheit maximum.
- 4.08 MASONRY ANCHORAGE AND REINFORCEMENT - Brick/Block: Install completed metal, metal wire brick ties. The brick veneer must be securely attached to the existing construction. Provide one tie for each 2' x 2' of full wall area. The maximum spacing of ties, either horizontally or vertically, should not exceed 24 inches. The ties should extend above and below the brick. The above grade spacing of ties should be reduced to one for each 1 1/4 ft of wall area for one and one half story buildings not exceeding one story in height.

- Ex Emphas:** Wood Frame - Install concrete resistant nails to attach the completed metal ties to wood frame construction. The nails should penetrate at least 1 1/4" into the wood studs.
- Metal - Concrete resistant, self tapping metal screws should be used to attach metal wire ties to metal construction. Screws should penetrate at least 1/2 inch into the metal structure.
- Concrete Masonry:** Install tie line with bolts and expansion shield or masonry nails. The fasteners and anchors should be a minimum 1/4" thick when used at 1 inch legs.

**4.09 MASONRY ACCESSORIES**

- Flashing - Flashing materials may be bituminous membranes, plastics, sheet metals or a combination of these. Continuous flashing shall be installed at the bottom of the opening. Flashing should be 1/2" above grade. Flashing should be installed at the heads and sills of all openings and wherever the air space is interrupted. Flashing should extend through the face of the brick veneer to form a drip edge. Where the flashing is not continuous, such as at heads and sills, the ends should be turned up approximately 1 inch.
- Weatherstrips - Masonry weatherstrips, each having an area of at least 70 mm (10 1/4 sq. in.) are required above flashings in masonry cavity wall construction. Weatherstrips should be located in the head joints immediately above the flashing, and spaced at 16" on center. If open head joints are used, a 2 1/4" open center spacing is permitted; however, open joints are not recommended because the small openings are easily obstructed by mortar droppings. Open joints also permit insects to enter the building envelope.
- 4.10 Concrete block and brick work shall have sawed joints for angle cuts.
- 4.11 MASONRY BRICK - Brick shall be placed in a running bond - unless noted otherwise, with joints finished to produce a concave, flush, beaded, raked form. All joints shall be uniform and 3/8 inch thick unless otherwise noted. Detailing, such as soldier courses, rowlocks, quoins, etc., and location of brick veneer shall be shown in the construction documents. Wall ends shall be concrete reinforced #5 gauge wire with a hook and the extended leg to engage or entwine #5 gauge horizontal joint reinforcement wire. Joint reinforcement shall be continuous with but splices between lines permitted. Wall ties shall be located to support no more than 2 square feet of wall area and spaced a maximum 24" on center horizontally. Provide one tie with each course, spaced approximately 32 inches on center in vertical joints of first course over all corner flashing and through wall flashing on all exterior walls.
- 4.12 BRICK CLEANING: Do not brush masonry surface at the end of each day's work and after final pointing, unless wire brushes to remove mortar ball evidence. Care not to scratch or damage work. For final cleaning, schedule at least seven days after the brick masonry is completed. Remove larger mortar particles by hand with wooden paddles and non-metallic scrapers or chisels. Protect metal, glass, wood, limestone and cast stone surfaces. Mask or otherwise protect windows, doors, and ornamental trim from cleaning solutions. Pre-rinse or saturate the area to be cleaned. Flush with water from the top down. Blasting is not to be used for the cleaning solution based on the type of brick installed. Use a high handled stiff brush or other type as recommended by the cleaning solution manufacturer. Allow the solution to remain on the brick for 5 to 10 minutes. Rise thoroughly. Flush walls with large amounts of clean water from the top bottom before they can dry.
- 4.13 ARTIFICIAL STONE VENEER - Unless noted otherwise, Contractor to provide samples for Owner/Architect review and approval. Install as per Masonry Veneer Manufacturers Association.

**DIVISION 3 METALS**

- 5.01 STEEL - Provide galvanized metal anchors, fasteners, post hangers, etc. Provide structural steel conforming to ASTM B-36, pipe conforming to ASTM A-53, tube conforming to ASTM A401 or A403. Detailing to be in accordance with AISI Structural Steel Manual. Use corrosion resistant fasteners. Use corrosion resistant aluminum uniform load stress of 24 KSI. Provide 3/4" diameter high strength bolted flange connections meeting ASTM spec A-325. Provide bolted joints of bearing type using the end-connection of bolts.
- Submit complete shop and erection drawings for approval before fabrication and erection.  
Use welding certified in accordance with The American Welding Society. Verify that welder uses wetting electrodes, machines, etc. be compatible with the type of metal being welded.
- 5.02 Provide base plate for structural steel beams bearing on masonry.
- 5.03 Do not cut into holes through beams undisturbed or approved by Structural Engineer. Provide standard angle wall anchors for a beam resting on masonry.

**DIVISION 4 WOOD PLANTS AND COMPOSITES**

- 6.01 WOOD SILL PLATE: Plate treated to meet American Wood Preservers Institute Standard. Place 12" diameter bolts at 4 feet O.C., 15 inches into concrete/CMU, not more than 24 inches from any corner.
- 6.02 Use decay resistant lumber when exposed to exterior or when in contact with masonry or concrete. Provide decay resistant lumber, pressure treated according to industry standards. Provide fire retardant sheathing and lumber when indicated on drawings.
- 6.03 MAXIMUM MOISTURE CONTENT - Provide lumber with maximum moisture content of 19%. Lumber may be kiln dried but drying process must be regulated to ensure a minimum amount of checking. Kiln dried lumber must be comparable to air dried stock.
- 6.04 STRENGTH OF FRAMING MATERIALS - Provide framing lumber of SYP #2 or better, having the following minimum properties:  
A. Bending stress F<sub>1</sub> = 1000 PSI for single member use  
Bending stress F<sub>2</sub> = 1100 PSI for repetitive member use  
Horizontal shear F<sub>v</sub> = 75 PSI  
Compression perpendicular to grain F<sub>c</sub> = 405 PSI  
Compression parallel to grain F<sub>c</sub> = 875 PSI  
Modulus of elasticity E' = 1,400,000 PSI
- B. Provide structural posts of Southern Yellow Pine, Grade 2 or better, having the following minimum properties:  
Bending stress F<sub>1</sub> = 1200 PSI for single member use  
Bending stress F<sub>2</sub> = 1400 PSI for repetitive member use  
Horizontal shear F<sub>v</sub> = 90 PSI  
Compression perpendicular to grain F<sub>c</sub> = 650 PSI  
Compression parallel to grain F<sub>c</sub> = 1,100 PSI  
Modulus of elasticity E' = 1,600,000 PSI
- C. Provide plywood laminated UL beams with the following minimum properties:  
Width = 1.54"  
Bending stress F<sub>1</sub> = 2800 PSI  
Bending stress F<sub>2</sub> = 280 PSI  
Modulus of elasticity E' = 2,000,000 PSI  
Tension parallel to grain = 1800 PSI  
Compression parallel to grain F<sub>c</sub> = 500 PSI  
Compression parallel to grain F<sub>c</sub> = 2200 PSI  
Provide prefabricated structural lumber beams conforming to one of the following specifications:  
- Micromen ML-96B 124  
- Parallon PLR-202

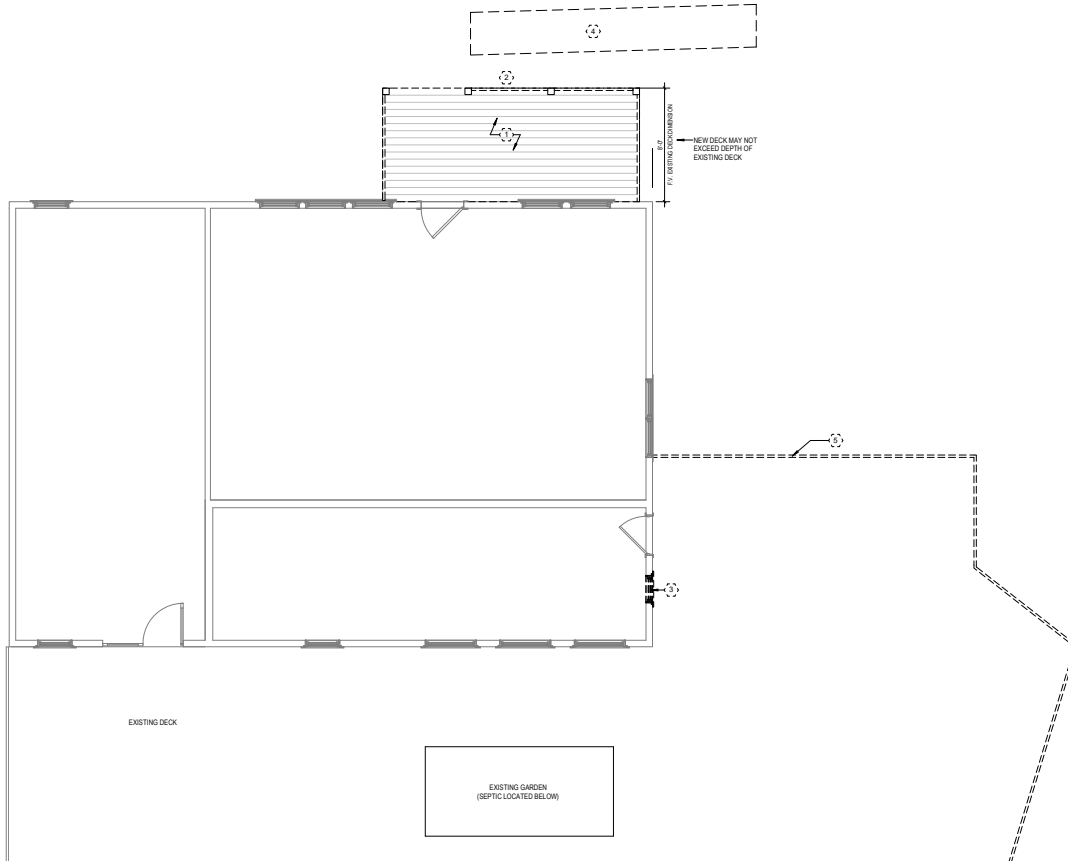
- D. On or notch depth conforming to the following: Or per manufacturer's specifications.  
Do not notch the top of the bottom of the post and beams, do not exceed 1/6 the depth of the members and do not locate in the middle 1/3 of the span, including loads mouth cuts.  
For notch depth at the ends of the member, do not exceed 1/4 the depth of the member.  
Do not notch the tension side of beams, joists and rafters of four inches or greater normal (except at ends of members).  
Do not bore holes or cut into joints closer than two inches to the top or bottom of the joints. Do not bore holes larger than one third the depth of the joint.  
Use steel grade lumber clearly stamped with The Lumber Inspection Association. Detail showing the stress grade, fabrication, erection and other procedures shall conform to the Current National Specification for Stress Grade Lumber and its fastenings.  
F. Install prefabricated lumber and bracing following manufacturer's written recommendations. Do not cut or drill member under the manufacturer's instructions.  
G. Where double members are indicated on the Drawings, mechanically fasten members so both equally share superimposed loads, including loads from headers.

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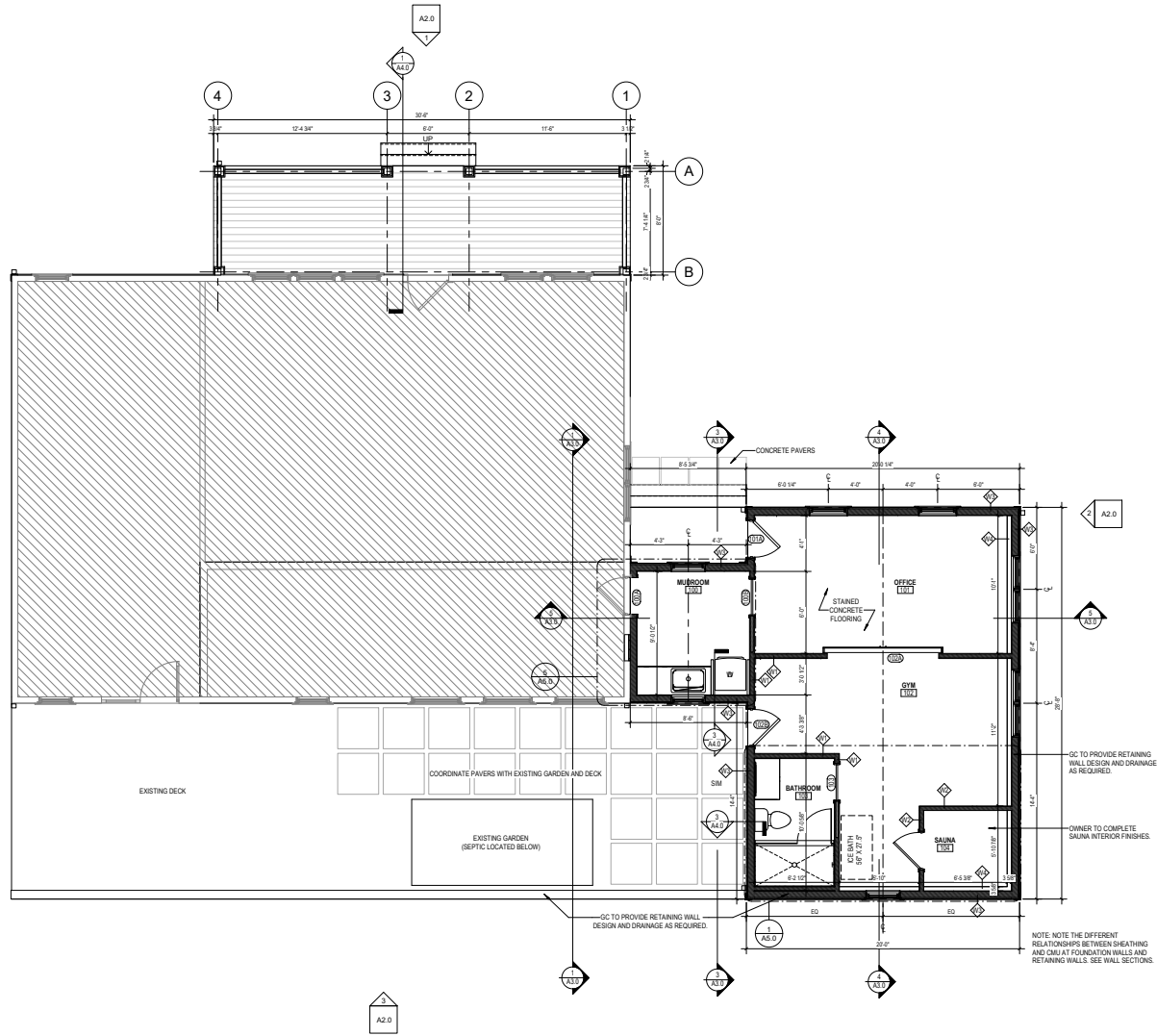
GENERAL NOTES	
1.	DASHED LINES INDICATE ITEMS TO BE REMOVED, INCLUDING: WALLS, DOORS, FLOORING, CASEWORK, FIXTURES, ETC.
2.	PROVIDE TEMPORARY DUST PARTITIONING WITH TEMPORARY DOORS IN COMPLIANCE WITH FACILITY ICRA AT CONSTRUCTION PHASE PERIMETER
3.	ANY EXISTING CEILINGS, FLOORS, OR WALL FINISHES AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING, UNLESS NOTED OTHERWISE.
KEYNOTES	
	REMOVE EXISTING FRONT PORCH FLOOR, COLUMNS, & ROOF
	REMOVE STAIRS
	REMOVE WINDOW
	REMOVE AGGREGATE AS NECESSARY
	REMOVE FENCE AS NECESSARY

1 1ST FLOOR DEMO PLAN  
1/4" = 1'-0"

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**REVISION DATA**

2022-15      05.25.2023  
DEMOLITION PLANS



- GENERAL NOTES**
1. ALL NEW EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS (SEE WALL SECTIONS) AND ALL NEW INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS WITH 5/8" ATTENUATION FIBER BATT INSULATION.
  2. ALL EXTERIOR DIMENSIONS ARE TO FROM FACE OF SHEATHING, UNLESS NOTED OTHERWISE & ALL INTERIOR DIMENSIONS ARE TO FROM FACE OF GYP, UNLESS NOTED OTHERWISE.
  3. ANY DISCREPANCY WITH DIMENSIONS AND INFORMATION MUST BE COORDINATED WITH ARCHITECT BEFORE PROCEEDING.
  4. COORDINATE LIGHT FIXTURE, SWITCH, OUTLET, AND DATA LOCATIONS WITH OWNER.
  5. CONTRACTOR TO PROVIDE WOOD BLOCKING WITHIN WALLS BASED ON CASEWORK, ELEVATIONS AND OTHER DETAILS.
  6. ALL INTERIOR WALLS TO RECEIVE 1/2" GYPSUM BOARD W/ "GREEN BOARD" INSTALLED IN WET LOCATIONS.
  7. SEE ENLARGED PLANS AND ELEVATIONS FOR ADDITIONAL DIMENSIONS AND INFORMATION ANY DISCREPANCY MUST BE COORDINATED WITH ARCHITECT BEFORE PROCEEDING.
  8. SAMPLES OF FINISH COLORS AND MATERIALS SPECIFIED SHALL BE SUBMITTED FOR APPROVAL TO THE ARCHITECT/DESIGNER PRIOR TO COMMENCEMENT OF WORK.
  9. PROVIDE SUBMITTALS FOR CABINET HARDWARE AND PULLS.
  10. CONTRACTOR TO PROVIDE RADON MITIGATION SYSTEM.

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**CONSTRUCTION DOCUMENT/ PERMIT SET**

**GUPTA RESIDENCE FRONT PORCH & OFFICE/GYM ADDITION**  
 399 MOORES CIRCLE  
 KINGSTON SPRINGS, TN 37082

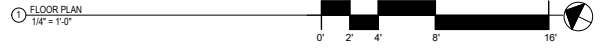
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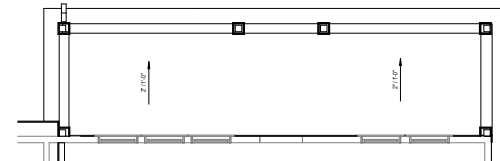
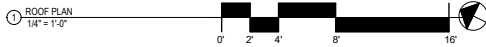
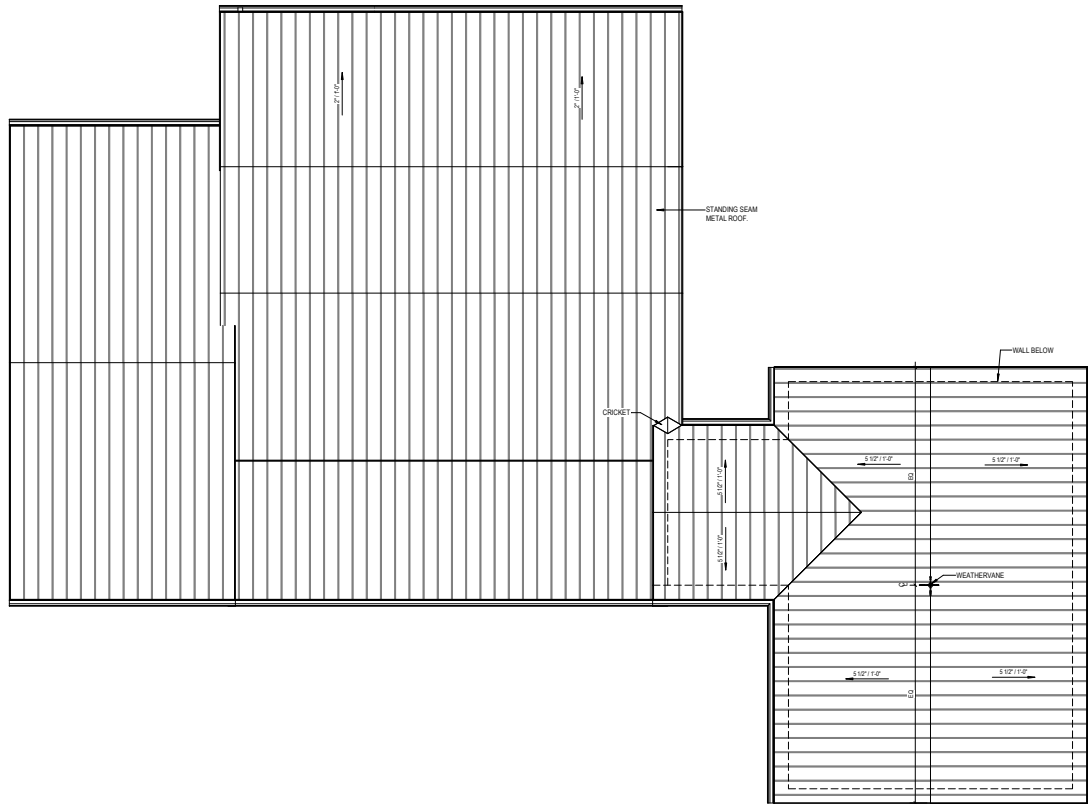
**REVISION DATA**

2022-15	05.25.2023
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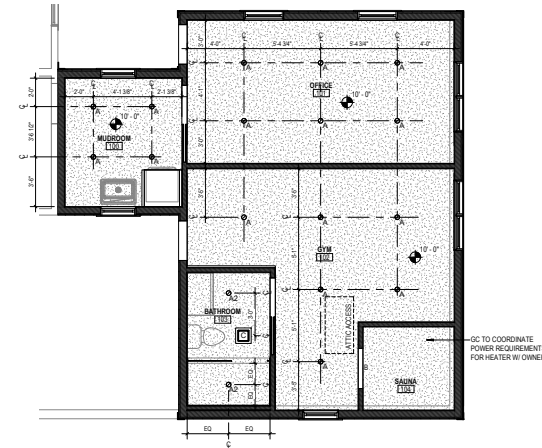
FLOOR PLAN  
**A1.2**

A2.0





2 ENLARGED PORCH CEILING PLAN  
1/4" = 1'-0"



3 ENLARGED ADDITION CEILING PLAN  
1/4" = 1'-0"

GENERAL NOTES	RCP LEGEND
1. ALL NEW EXTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (SEE WALL SECTIONS) AND ALL NEW INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS WITH SOUND ATTENUATION FIBER BATT INSULATION.	A1 - RECESSED DOWNLIGHT
2. ALL EXTERIOR DIMENSIONS ARE TOPFORM FACE OF SHEATHING, UNLESS NOTED OTHERWISE & ALL INTERIOR DIMENSIONS ARE TOPFORM FACE OF STUD, UNLESS NOTED OTHERWISE.	A2 - WATERPROOF RECESSED DOWNLIGHT
3. ANY DISCREPANCY WITH DIMENSIONS AND INFORMATION MUST BE COORDINATED WITH ARCHITECT BEFORE PROCEEDING.	B - WALL SCONCE
4. COORDINATE LIGHT FIXTURE, SWITCH, OUTLET, AND DATA LOCATIONS WITH OWNER.	
5. CONTRACTOR TO PROVIDE WOOD BLOCKING WITHIN WALLS BASED ON CASERWORK ELEVATIONS AND OTHER DETAILS.	
6. ALL INTERIOR WALLS TO RECEIVE 1/2" GYPSUM BOARD W/ GREEN BOARD INSTALLED IN WET LOCATIONS.	
7. SEE ENLARGED PLANS AND ELEVATIONS FOR ADDITIONAL DIMENSIONS AND INFORMATION. ANY DISCREPANCY MUST BE COORDINATED WITH ARCHITECT BEFORE PROCEEDING.	

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REVISION DATA

2022-15      05.25.2023  
 ELEVATIONS & DETAILS

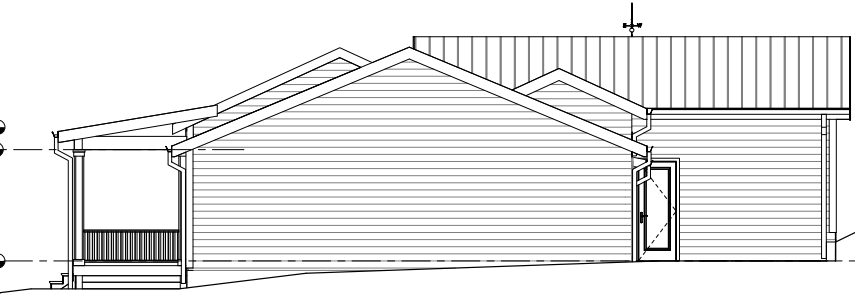
**A2.0**



1 EAST ELEVATION  
 1/4" = 1'-0"



2 SOUTH ELEVATION  
 1/4" = 1'-0"



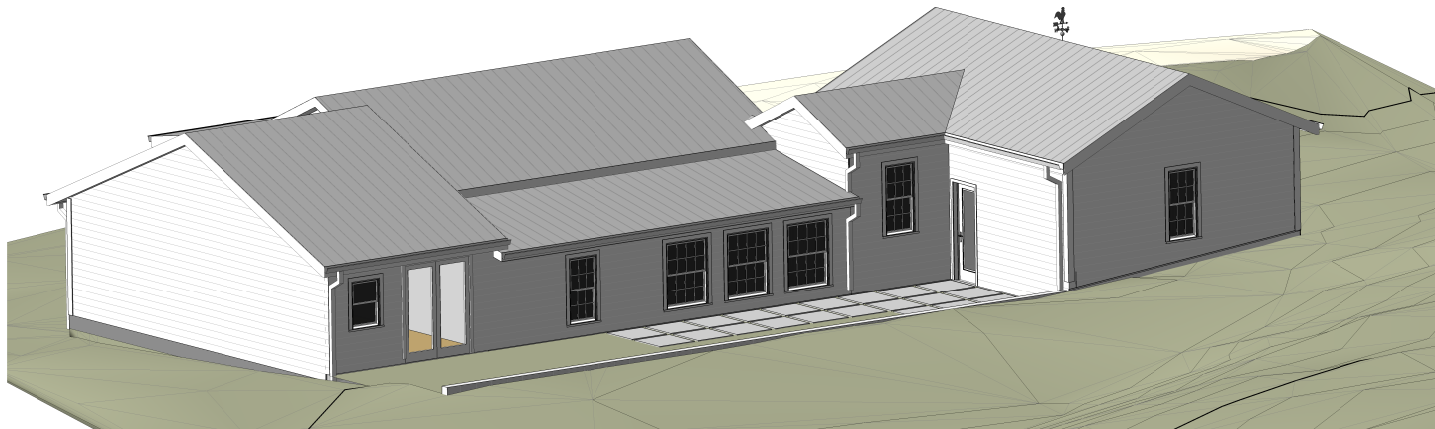
4 NORTH ELEVATION  
 1/4" = 1'-0"



3 WEST ELEVATION  
 1/4" = 1'-0"



1 (3D) Copy 1



2 (3D) Copy 2

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**REVISION DATA**

2022-15	05.25.2023
3D VIEWS	

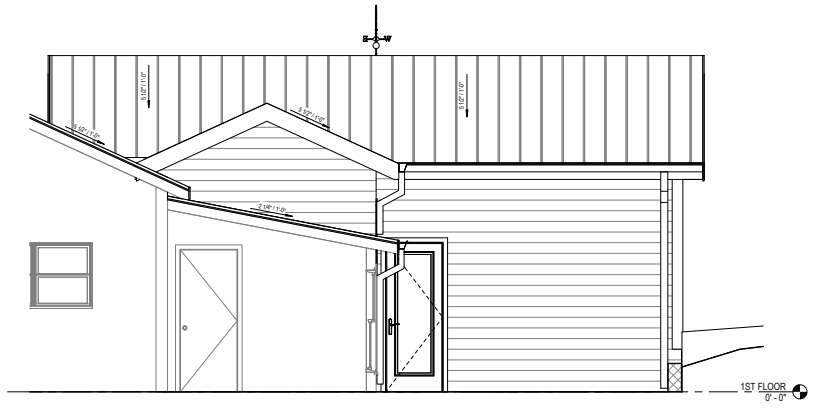
**A2.1**

These documents and the designs shown are the property of the Architect and have been specifically prepared for the project named herein. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect. Reproduction is prohibited without written consent and any infringement will be subject to legal action.

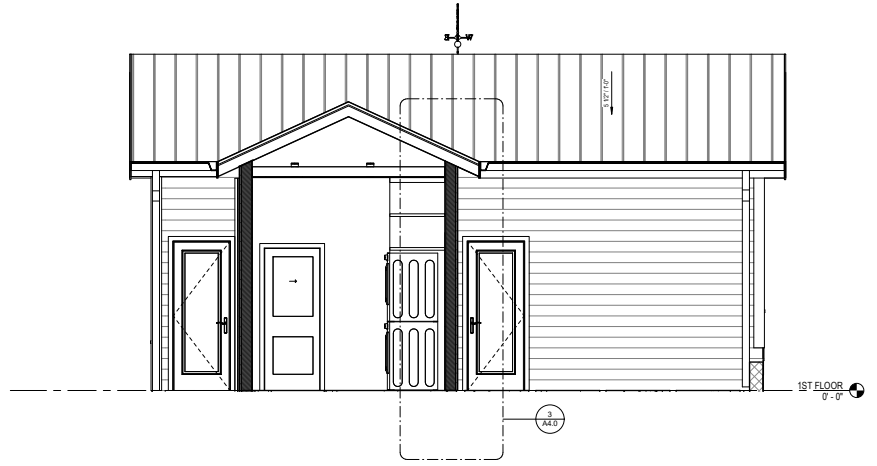
REVISION DATA

2022-15 05.25.2023  
 BUILDING SECTIONS

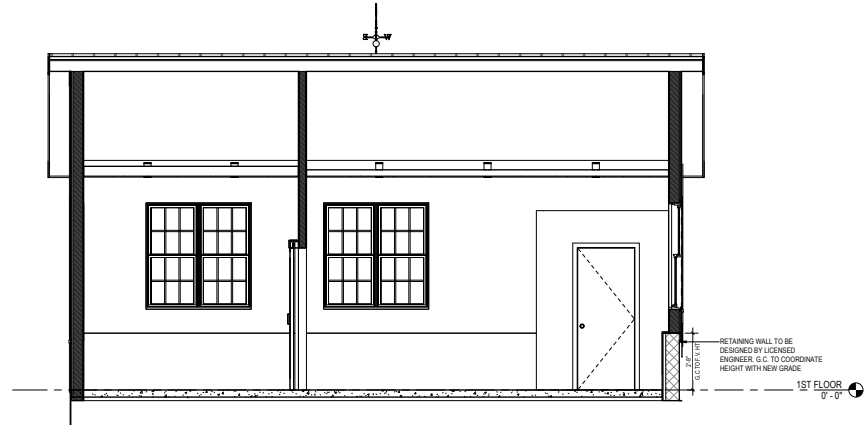
**A3.0**



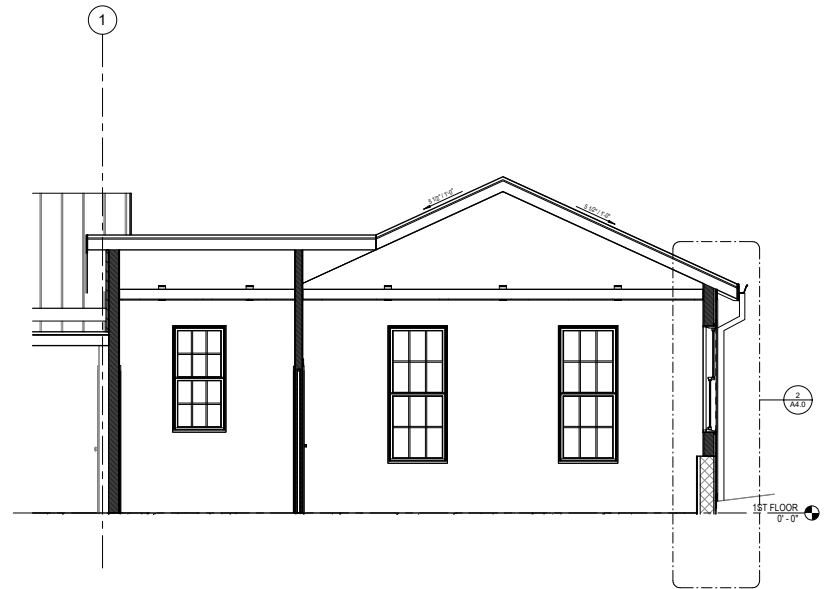
1 SECTION A THRU CONNECTOR  
 3/8" = 1'-0"



3 SECTION C THRU CONNECTOR  
 3/8" = 1'-0"



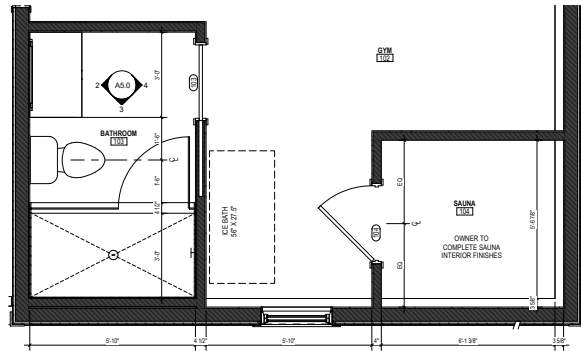
4 SECTION A THRU ADDITION  
 3/8" = 1'-0"



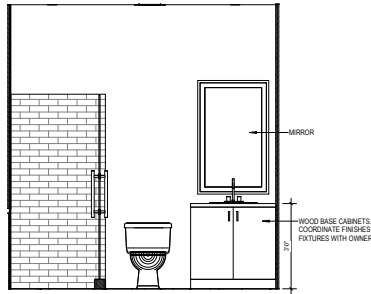
5 SECTION B THRU ADDITION  
 3/8" = 1'-0"



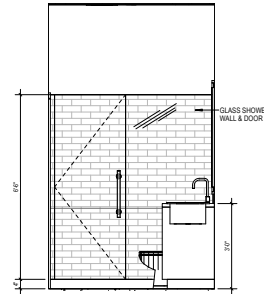




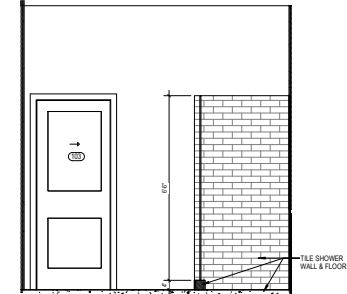
1 ENLARGED BATH & SAUNA  
1/2" = 1'-0"



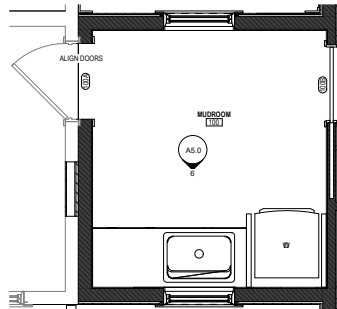
2 BATHROOM 103 ELEVATION A  
1/2" = 1'-0"



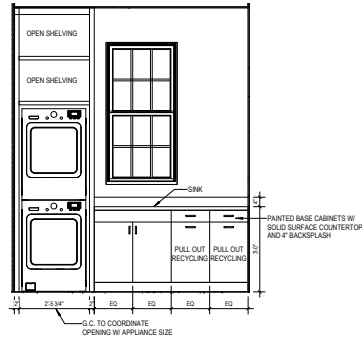
3 BATHROOM 103 ELEVATION B  
1/2" = 1'-0"



4 BATHROOM 103 ELEVATION C  
1/2" = 1'-0"



5 ENLARGED MUD ROOM  
1/2" = 1'-0"



6 MUDROOM 100 ELEVATION B  
1/2" = 1'-0"



Town of Kingston Springs  
Building and Codes Department  
PO Box 256  
396 Spring Street  
Kingston Springs, TN 37082  
615-952-2110

## SETBACK REQUIREMENTS

It is the responsibility of the applicant to comply with the placement of any improvements on a lot (footings, foundation, etc.) in accordance with the minimum required building setback lines on the front, rear, and side of the property. These requirements are set by the Zoning District the property is located in, as well as by other plans, plats or restrictive covenants of record. The Town of Kingston Springs and its planning commission will gladly provide information on setback requirements established by the town's zoning ordinance, but is not responsible for providing information or enforcing requirements from plats of record or restrictive covenants.

The applicant must determine that all minimum setback requirements are met and are strongly encouraged to use a licensed surveyor to establish certainty. Additionally, it is the applicant's responsibility to place the improvement within the building envelope and not encroach upon restricted lot areas such as the septic disposal field and public utility and drainage easements. Should this office question the placement of the building at the time of the footing inspection, a surveyor's certificate will be required. Failure to comply will not guarantee a variance will be granted or required. However, it may have a financial impact on the applicant with regard to third parties such as a mortgage lender. If you have any questions, please contact the Building Inspector.

## ZONING REQUIREMENTS

It is the responsibility of the applicant to comply with the placement of any improvements on a lot (footings, foundation, etc.) in accordance with the minimum required building setback lines on the front, rear, and side of the property. These requirements are set by the Zoning District the property is located in, as well as by other plans, plats or restrictive covenants of record. The Town of Kingston Springs and its planning commission will gladly provide information on setback requirements established by the town's zoning ordinance, but is not responsible for providing information or enforcing requirements from plats of record or restrictive covenants.

The applicant must determine that all minimum setback requirements are met and are strongly encouraged to use a licensed surveyor to establish certainty. Additionally, it is the applicant's responsibility to place the improvement within the building envelope and not encroach upon restricted lot areas such as the septic disposal field and public utility and drainage easements. Should this office question the placement of the building at the time of the footing inspection, a surveyor's certificate will be required. However, it may have a financial impact on the applicant with regard to third parties such as a mortgage lender. If you have any questions, please contact the Building Inspector.

I have read and understand the Town of Kingston Springs policy regarding setback and zoning requirements and I hereby certify that all work related to this application will be performed in accordance with all applicable town, and state laws and codes pertaining to building construction, and demolition and the information submitted and contained herein is accurate and correct. I further certify that I am the owner or an authorized agent of the property owner listed in this application, and have authority to make application for work to be performed.

Signature \_\_\_\_\_ Print Name \_\_\_\_\_ Date: \_\_\_\_\_



# Sprinkler System Requirements

A Building Permit will not be issued until this process has been completed and the appropriate signatures have been acquired on this form.

A sprinkler system is required for this construction in order to be in compliance with the Town's ordinances:

Signature: \_\_\_\_\_  
Town of Kingston Springs, Tennessee Building and Codes Official Date

THIS FORM MUST ACCOMPANY ALL SUBMITTED PLANS FOR A RESIDENTIAL OR COMMERCIAL BUILDING PERMIT, INCLUDING ADDITIONS AND EXPANSIONS. A COPY OF THE APPROVED SPRINKLER PLAN MUST BE ATTACHED TO THIS FORM FOR STRUCTURES THAT REQUIRE A SPRINKLER SYSTEM.

### PRIOR TO BUILDING PERMIT BEING ISSUES:

- Find a certified/ licensed sprinkler contractor.
- The sprinkler contractor should contact the Second South Cheatham Utility District (SSCUD) at 615-952-3094 for flow and pressure information.
- Once the sprinkler contractor develops a hydraulic analysis, SSCUD will give a cost estimate for the tap required. Backflow information will also be provided by SSCUD to the licensed sprinkler contractor.
- The sprinkler contractor needs to establish what equipment needs to be installed to comply with the Town's ordinance and building codes and develop a sprinkler system plan.
- **A copy of the receipt from the Second South Cheatham Utility District for the water tap must be included with this information prior to issuance of a Building Permit.**

GENERAL CONTRACTOR NAME:

\_\_\_\_\_

SPRINKLER CONTRACTOR NAME:

\_\_\_\_\_

ADDRESS OF CONSTRUCTION SITE:

\_\_\_\_\_

TYPE OF CONSTRUCTION: [ ] RESIDENTIAL [ ] COMMERCIAL  
 TYPE OF SPRINKLER SYSTEM: [ ] WET LINE [ ] DRY LINE  
 SIZE OF WATER MAIN: \_\_\_\_\_ INCHES  
 SIZE OF TAP NEEDED: \_\_\_\_\_ INCHES  
 FEE FOR TAP: \$ \_\_\_\_\_  
 DOUBLE CHECK VALVE NEEDED: [ ] YES [ ] NO  
 BACKFLOW PREVENTER NEEDED AT THE METER: [ ] YES [ ] NO



Town of Kingston Springs  
Building and Codes Department  
PO Box 256  
396 Spring Street  
Kingston Springs, TN 37082  
615-952-2110

## REVIEW and INSPECTION PASS-THRU CHARGES

Per Section 20-301 of the Kingston Springs, Tennessee Municipal Code the town has the authority to pass-thru charges incurred by Town staff or consultants related to project review or inspection that may be required on a per project basis:

Ordinance 04-009. Section 20-301. Oversight and Project Site Inspection Charges.

1. All owners, developers and applicants, individually or by their authorized agents, employees or servants, seeking municipal approval for any proposed development/improvement of land by: subdivision, planned unit development, site plan, special exceptions approved by the board of zoning appeals, use changes, landscape plans, sketch plats, preliminary plats, final plats, construction plans, grading plans, roadway plans, drainage plans, wastewater facility plans, matters requiring the establishment of performance bonding, dedication of easements and facilities/structures associated with any of the foregoing, shall be responsible for the reimbursement to the Town of Kingston Springs for all actual review charges including, but not limited to, engineering review, engineering oversight and project site inspection charges/fees for services incurred by said town by virtue of, and as relate to the foregoing, by the town's designated consulting engineer and/or his appointed designee, City Attorney or any other designated consultant rendering services ancillary to the foregoing for and on behalf of the municipality.
2. All actual charges to be reimbursed to the municipality shall be paid within fifteen (15) days from the date of billing by the municipality. In the event said reimbursed charges are not paid, timely, any permit or approval before given or issued shall become void and default may be declared upon any performance bonding posted with the Town of Kingston Springs.
3. Notwithstanding all of the foregoing, certain charges shall be paid at the time of submittal or time of application is made to the town or its planning commission as a base minimum, all of which is set forth on Appendix "A" of the Municipal Code hereto and of which is incorporated by reference herein.
4. This ordinance is not deemed to be a tax but is to offset actual incurred expenses of the municipality for an owner, developer and applicant seeking development of land and improvement of lands within the municipality. (Ord. #95-001, April 1995, as replaced by Ord. #04-009, Sept. 2004)

I have read Section 20-301 of Ordinance 04-009 and understand that I am responsible for all review and inspection fees to be reimbursed to the Town of Kingston Springs.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# Residential Development Additional Information

Contact KS Building and Codes Department  
615-952-2110

Kingston Springs City Hall ▪ 396 Spring Street ▪ Kingston Springs, TN. 37082



# Residential Building Permit Checklist

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Thank you for submitting a **Residential Building** permit application. For us to completely process your application, certain documents will need to be submitted in order to issue a final Building Permit. If you have any questions about the items listed in the check boxes below, please feel free to call us so we may provide further clarification.

<b>X</b>	<b>Items to be submitted</b>
	Building Permit Application
	Completed site plan or stamped survey showing location of the proposed structure and any additional buildings - (TN licensed surveyor)
	Signed setback affidavit – Part of the Residential Building Permit Application
	Electronic submission of Construction Drawings including building elevations, floor plan, wall cross sections
	Fire sprinkler shop drawings and fire sprinkler contractor information (New Residential Construction)
	Driveway Permit application – If New Driveway installed or Existing Driveway altered
	Receipt for water tap and utility provider information
	Subsurface Sewer System Permit (septic system)
	Contractor License
	Certificate of Insurance
	Cheatham County Business License
	Cheatham County Privilege Tax Receipt
	Cheatham County Development Fee: _____ Paid in full \$3000.00 _____ Minimum Partial Payment \$50.00 (with \$2950.00 remainder due prior to issuance of C.O.)



# Permit Inspection Requirements

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1. For inspections contact Kingston Springs Building Department at 615-952-2110 ext. 4. Inspections must be called in a MINIMUM of 48hrs in advance. If weather threatens, all concrete inspections are given a priority.
2. Your Building permit must be placed where it can be seen from the street.
3. **FOOTING INSPECTION:** After trenches or basement areas are excavated and any required forms erected, and any required reinforcing steel is in place and supported prior to the placing of concrete. All exterior footings shall be placed at least 12 inches (305 mm) below the undisturbed ground surface. All concrete to be poured will be inspected.
4. **FRAMING INSPECTION:** To be made after the roof, all framing, fire blocking and bracing are in place and all pipes, chimneys and vents are completed and plumbing, wiring and HVAC rough in. Electrical rough-in must pass before the framing inspection will be done. Gas (if installed) must pass before the framing inspection will be done. Gas inspections are done by Greater Dickson Gas Authority in Dickson, TN. DO NOT INSULATE BEFORE THE FRAMING INSPECTION.
5. **INSULATION INSPECTION:** To be made after Framing Inspection.
6. **FINAL INSPECTION:** To be made only after building is complete and ready for occupancy.
7. If a septic tank is required, all state paperwork must be presented. The septic tank must be inspected. City Sewer inspections are done by the Town of Kingston Springs Wastewater Department. Contact City Hall at 615-952-2110 to schedule.
8. Proof of approval of the water line by Second South Cheatham Utility District must be provided.
9. If Reinspection is required, the first reinspection will be performed at no cost. If subsequent inspections are required there will be a \$75.00 cost per reinspection. These fees must be paid in full before a Certificate of Occupancy is issued.
10. Upon-completion of construction of new single-family dwellings, you are required by 911 Emergency Service to post your assigned street number on the structure. No Use and Occupancy Certificate will be issued until this is completed.
11. Final Gas, Water and Electrical inspections from each utility are required prior to the final building inspection being done.
12. If there is a new driveway, you must install an 18-inch culvert and a Type II Headwall. See additional information on driveways and headwalls in this packet



# Driveway (Access Point) Requirements

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## **Per the Kingston Springs, Tennessee Zoning Ordinance - 3.090:**

Access control. In order to promote the safety of the motorist and pedestrian and to minimize traffic congestion and conflict by reducing the points of contact, the following regulations shall apply:

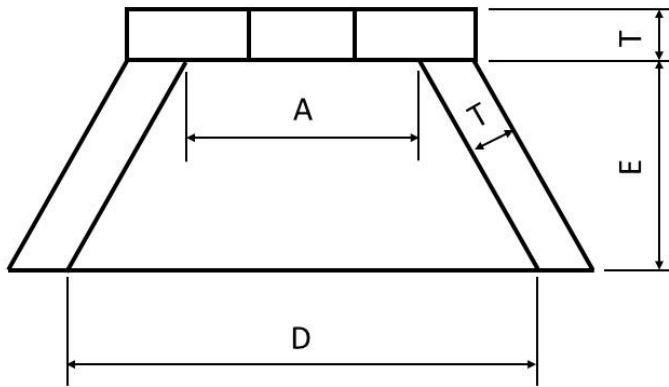
- A. A point of access for vehicles onto a street shall not exceed thirty (30) feet in width for all residential uses. Such points of access shall not exceed thirty-five (35) feet for all retail and commercial services land uses. For industrial land uses a point of access for vehicles onto a street shall not exceed forty-five (45) feet in width. A minimum of an eighteen (18) inch culvert shall be provided in the ditch line.
- B. There shall be no more than one (1) point of access to anyone (1) public street for lots with less than four hundred (400) feet of lot frontage. There shall be a maximum of two (2) points of access to anyone (1) public street for lots with four hundred (400) or more feet of lot frontage. (Amended by Ordinance 05-009. June 16,2005)
- C. No point of access shall be allowed within twenty-five (25) feet of the right-of-way line of any public intersection. On collectors or arterials this minimum shall be forty (40) feet.
- D. No curbs on city streets or right-of-way shall be cut or altered without written approval of the City Manager, and if a state highway, a permit must also be obtained from the Tennessee Department of Transportation.
- E. Where two driveways are provided for one lot frontage, the clear distance between the driveways shall not be less than twenty-five (25) feet.
- F. Cases requiring variances relative to the above provisions due to topographic limitations shall be heard and acted upon by the Board of Zoning Appeals, provided, further that no curb cuts for off-street automobile storage or parking spaces shall be permitted where the arrangement would require that vehicles back directly onto a public street.

**Please see the following page for Driveway Headwall Specifications**

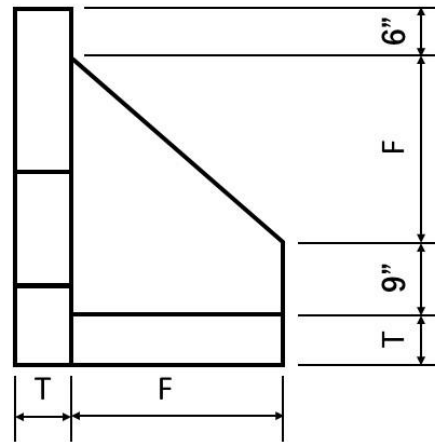


# REINFORCED CONCRETE HEADWALLS

TOP VIEW



SIDE VIEW



FRONT VIEW

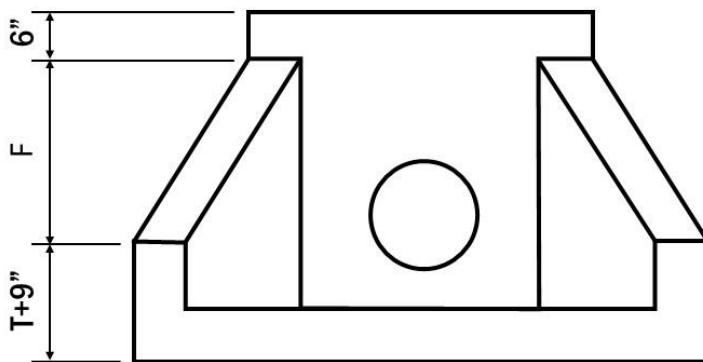


TABLE OF DIMENSIONS

PIPE SIZES	A	D	E	F	T (MIN.)
15"	2'-6"	5'-0"	2'-6"	1'-9"	6"
18"	2'-6"	5'-0"	2'-6"	1'-9"	6"
21"	2'-6"	5'-0"	2'-6"	1'-9"	6"
24"	4'-0"	6'-6"	3'-0"	3'-3"	6"
30"	4'-0"	6'-6"	3'-0"	3'-3"	6"
36"	5'-6"	8'-0"	3'-6"	4'-5"	6"
42"	5'-6"	8'-0"	3'-6"	4'-5"	6"
48"	5'-6"	8'-0"	3'-6"	4'-5"	6"
54"	7'-0"	9'-5"	4'-6"	5'-9"	6"
60"	7'-0"	9'-5"	4'-6"	5'-9"	6"
66"	8'-6"	11'-0"	5'-6"	6'-11"	6"
72"	8'-6"	11'-0"	5'-6"	6'-11"	6"

CONCRETE: 4000 PSI AT 28 DAYS  
 REINFORCED WITH NO. 4 BARS @ 10" C/C  
 EACH WAY WITH WINGS AND TOE SLAB  
 DOWELLED TO HEADWALL WITH NO. 5 BARS.

3/4" CHAMFER ON ALL EXPOSED EDGES.



# Septic Tank - Sewer Requirements

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Standard Specification  
Septic Tank Construction and Installation  
Town of Kingston Springs, Tennessee

**1. Scope:**

1.1 This specification covers the construction and installation of precast portland cement concrete septic tanks for residential and commercial use in the Town of Kingston Springs, Tennessee

1.2 Nothing in this specification shall be construed to deny or supersede the requirements set forth by the State of Tennessee Department of Environment and Conservation. Specifications set forth herein shall be considered to be in addition to the reference standards.

**2. Reference Standards:**

2.1 ASTM Standards:

C1227-95 Standard Specification for Precast Concrete Septic Tanks

2.2 Department of Environment and Conservation, Division of Water Pollution Control Standards

**3. Construction:**

3.1 Materials: Septic tanks shall be constructed of reinforced Portland cement concrete.

3.2 Tanks shall be cast monolithically (i.e. one-piece construction)

**4. Installation:**

4.1 Tanks shall be installed on a clean smooth base, either undisturbed soil or gravel backfill. No projecting bedrock, or stone greater than three-inch diameter, shall be allowed in contact with or within four inches of the tank exterior surface.

4.2 Tanks installed in locations subject to traffic loads shall be certified by the manufacturer for such installations. Tanks in traffic areas shall be the requirements of section 4.1 above and must be bedded in a minimum of (4) inches of graded stone of AASHTO size No. 6 or smaller.

4.3 A septic tank effluent filter, such as that manufactured by Orenco Systems, Inc. or equivalent, shall be installed in each tank. Installation of the filter shall be in accordance with manufacturer's instructions.

- 4.4 All pipe connections to the tank shall use watertight fittings.
- 4.5 Risers: Risers for access openings shall be constructed of high-density, polyethylene or concrete.
  - 4.5.1 Concrete risers shall be used to adjust the finished grade of the openings to a point approximately six inches below the ground surface. Risers shall be bedded in Portland cement mortar. Riser covers shall be sealed with an elastomeric sealant.
  - 4.5.2 Polyethylene risers shall have the initial segment cast into the concrete tank. Additional segments shall be added as necessary to adjust the finished grade of the openings flush with the finished grade. Joints between riser segments shall be sealed by elastomeric sealant or other approved methods. Riser covers shall be securely fixed to the riser body with stainless steel screws.
  - 4.5.3 Risers in traffic areas shall be of concrete construction. Covers shall be cast iron certified for traffic loads, flush with the surface, and of watertight construction.

## Important Information for Sewer Customers

For Kingston Springs residents, the following information is vital in dealing with your sewer service. This is only for residents who are connected to the sewer system.

**Basic information:** Even though you are connected to the sewer system, you still have a septic tank in your yard. The maintenance for this tank and the service line running from it to the main sewer line belongs to the city. The line running from the house to the septic tank is the responsibility of the homeowner. If it becomes necessary to pump the septic tank, the city will arrange and pay to have that service performed. However, if the tank needs additional pumping within 5 years of its last city pumping, the expense will belong to the homeowner. In any event involving tank pumping, the city must be notified PRIOR to the pumping. The sewer system is a natural, biological system, which treats the solids in the septic tank and sends the liquid product to the sewer plant for treatment and release.

**To avoid problems:** Pouring grease into your sink is the number one problem within the sewer system. The sewer use ordinance prohibits homeowners from pouring grease into the system. When excessive grease is the reason for the tank needing pumping, the homeowner may be responsible for the expense of pumping. Because it is a violation of the ordinance, the homeowner could also be cited for the violation. It is recommended that grease be poured off into a separate container, such as an empty glass jar with a lid. Also, because the system is dependent upon bacteria, the use of garbage disposals can also create a situation that causes the tank to become slow in its treatment of waste. Any waste from table food that can be disposed of in the regular trash is going to help avoid that situation and help the system function normally.

It is unlawful to place any type of oil or petroleum product, paint or solvent into the sewer system. Violators will be prosecuted.

**If you have problems:** If you see a discharge on the ground on top of your septic tank, call for the city to come and do an inspection. If you have problems within your house, you may call the city to come and inspect the septic tank. However, 95% of the time, if there is sewage backing up in the house, the problem is a clogged line before it reaches the tank. This is a repair that the homeowner is required to make. The homeowners must arrange a plumber or make the repair themselves. The city does not have personnel to make these repairs.

**To call the city for septic tank problems:** Contact Kingston Springs City Hall at 615-952-2110 and follow the prompts for information.

The city will not reimburse homeowners for unauthorized pumping of the septic tank. Please contact the city and allow public works to arrange septic tank service. There is 24-hour emergency service pre-arranged by the city.

**Adjustments to your bill:** If you have a swimming pool or do heavy watering during the summer months, you may purchase a "secondary meter" from the Second South Cheatham Water District which is connected to your outdoor faucet. This meter is read once a year and an adjustment is made on your sewer bill so that you will not pay for this water that did not go through the sewer. This adjustment is limited to a certain time period of the year. Contact the water company at 952-3094 for information. You may also receive one adjustment to your sewer bill that is based on a leak. This leak must be verified by the water company and the adjustment will be based on an average of several month's usage.

**OFFICE USE ONLY**

---

**APPLICANT DO NOT WRITE BELOW THIS LINE**

**ZONING COMPLIANCE / PLANNING AND ZONING REVIEW AND COMMENTS:**

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---

---

**Approved/Rejected:**

Zoning/Land Use: \_\_\_\_\_ Date: \_\_\_\_\_

Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

**\*\*DOUBLE PERMIT FEES WILL BE CHARGED FOR WORK STARTED PRIOR TO OBTAINING PERMITS\*\***

**Permit Fees:**

Residential Building Permit:	Total sq.ft.: _____	X \$0.75 = \$ _____	(32610)
Adequate Facilities Tax:	Total sq.ft.: _____	X \$0.40 = \$ _____	(310-32620)
Residential Addition:	Total sq.ft.: _____	X \$0.75 = \$ _____	(32610)
Residential Remodeling Permit:	Total sq.ft.: _____	X \$0.25 = \$ _____	(32610)
Residential Sewer Hook Up:	Tank Gallons: _____	X \$1.00 = \$ _____	(412-37297)
Pass-Thru Charges (if applicable):	.....	\$ _____	(13270)
Pass-Thru Reason:	_____		
Cheatham Co. Development Tax Collected*:	.....	\$ _____	

**NOTE:**

- \*Cheatham County Development Tax: Minimum \$50.00 due at Permit Issuance. Remaining balance of \$2950.00 total due prior to issuance of Certificate of Occupancy.
- Separate Driveway Permit Application and fee is required if new driveway is installed or existing driveway is altered.
- Residential Sprinkler Plan review by the Town of Kingston Springs is not required. However, if review is requested by the applicant, stamped plans must be submitted and review cost will be a pass-thru to consultant.

**TOTAL PERMIT FEE DUE: \$ \_\_\_\_\_ (other fees may still apply)**

Date Paid: \_\_\_\_\_

Amount Paid: \_\_\_\_\_

Receipt Number: \_\_\_\_\_

## ARTICLE 5.300 - MIXED USE DISTRICT ALLOWED USES AND FORM BASED STANDARDS

### 5.300.1 - Purpose, intent, and applicability.

- A. **Article Purpose and Intent.** The purpose of this Article is to establish unique allowed use and development standards for subject property within the Mixed Use area as defined by the City of Kingston Springs Zoning Code. It is the intent of these standards to help preserve and protect the existing, historic, and unique character of Downtown Kingston Springs by requiring new construction and remodels and existing construction to enhance the existing built environment and provide additional development opportunities. Additionally, the application of these standards will enable the Downtown area to become a pedestrian-oriented shopping, dining, entertainment, and living center for the city and environs.
- B. **Applicability of Standards and Entitlement Review.** The standards of this article apply to all property zoned Mixed Use. Uses that require a use permit as listed in Section 5.300.4 (Allowed use regulations) shall obtain a use permit.

The Downtown is also governed by a regulating plan that addresses how development interacts with the street and how the street is developed. The application of both the zoning district and the Design Review Guidelines (see Section 5.300.3 (Mixed Use District Definitions); Design Review Guidelines, Zoning Ordinances, and Municipal Code Regulating Street Standards).

Generally, the zoning district designation (Mixed Use) defines the character and allowed use provisions for the subject site while the Zoning Ordinance defines the development standards (setbacks, building types, and street standards).

- C. **Applicability of Regulating Plan Standards.** Generally, the development standards applicable to a property shall be those for the respective zone and street frontage as reflected in the regulating plan. However, for those properties that face onto multiple street frontages (e.g., a corner lot or a double frontage lot), the following shall apply:
1. The development standards applicable to the site shall be reflective of the individual sides of the lot.

For instance, if a corner lot faces Street A and Street B, then that side of the lot facing Street A shall be developed consistent with the standards for Street A and the side facing Street B shall be developed consistent with the standards for Street B.

2. At the corner, the design shall merge and unify the two standards together such that:
  - a. The more restrictive setback requirement shall prevail on that side of the corner.

Example: if Street A has a five-foot build-to line and Street B has a zero-foot build-to line, then that side facing Street A shall be located at the five-foot build-to line and the side facing Street B shall be located at the zero-foot build-to line. (Note: In this example, the building is not centered on the corner; this is consistent with the intent of this provision.)

- b. The more restrictive design standards shall prevail on that side of the corner, provided the two standards are architecturally integrated together.

Example: if Street A allows for a Stoop frontage and Street B does not, a Stoop may be developed along the Street A frontage, but at the corner the design of the building must architecturally transition into a frontage type that is allowed along Street B. The same shall be true for allowed building types, storefront regulations, sign types, and landscaping. Only those features allowed on that frontage may be developed on said frontage.

2. In the case of allowed uses, the least restrictive use provisions shall apply to the entire lot, provided that the primary entrance for the use either faces the street with the least restrictive use regulations or (preferred) faces the intersection/street corner.

Example: if a corner lot faces Street A and Street B and Street A allows a particular use by right and Street B requires a conditional use permit for the same use, then the use shall be allowed by right on that lot provided the primary entrance to the use is located facing Street A or (preferred) facing the intersection/at the corner.

#### 5.300.2 Introduction to the Mixed Use District.

A. Defining the Mixed Use District. The Mixed Use District is the regulating document for development within Downtown Kingston Springs. The basis for this Code is in two unique zoning districts: the Mixed Use—Commercial Emphasis (MU-C) and the Mixed Use—Residential Emphasis (MU-R). The Mixed Use District recognizes the historic character of the Downtown and identifies a special set of development standards, allowed use regulations, and other special use regulations that apply to new construction and qualifying remodels/expansions.

The standards in this Article are presented in a format that is unique to the Downtown—through a form based code. Form based zoning provides a method of regulating development to achieve a desired urban form. Form based provisions address the relationship between building facades and the public realm, the form and mass of buildings, and the size, character, and type of streets and blocks. The central focus of form based provisions is the regulating plan that designates the appropriate form (and character) of development rather than only distinctions in land-use types, which is the basis of conventional zoning.

This Mixed Use District also includes regulations for the street—the space between buildings. Part of the historical context of the Downtown includes how individual developments relate and interact with the street. This is because the street acts as a unifying thread across all development.

B. Relationship to Other Zoning Provisions. Generally, the regulations of this article shall govern development within the Downtown. In cases where there is a conflict between the provisions of this article and the regulations elsewhere in the Zoning Code, this Article shall prevail. However, with regard to topics on which this Article is silent, provisions elsewhere in the Zoning Ordinance shall prevail.

### 5.300.3 - Mixed Use District definitions.

The following terms are used throughout the Mixed Use District and are defined as follows:

**Alley.** A narrow public drive serving commercial and residential development

**Alley parking.** Residential or commercial parking that takes access from an alley.

**Avenue.** Connects districts or regions and capable of carrying a large amount of vehicular traffic while still maintaining a quality pedestrian environment and retail-supporting urban edge. This street typology may be used in place of an Arterial.

**Awning.** A temporary shelter that is supported from the exterior wall of a building. It is typically constructed of canvas or a similar fabric that is sturdy and flexible.

**Building type.** Defines the type of structure based on massing, layout, and use.

**Build-to line.** An urban setback dimension that delineates the maximum distance from the property line a front or street side building facade can be placed. Typically, build-to lines range from zero to ten feet.

**Bulkhead.** The portion of a commercial facade located between the ground and the bottom of the street level display windows. It is typically constructed of stone, brick, or concrete.

**Bulkhead height.** The height of the bulkhead (see "Bulkhead").

**Courtyard housing building type.** A group of dwelling units arranged to share one or more common courtyards on a qualifying lot in any zone. Dwellings take access from the street or the courtyard(s). Dwelling configuration occurs as townhouses, apartments, or apartments located over or under townhouses. The Courtyard is intended to be a semi-public space that is an extension of the public realm.

**Door Yard/Terrace frontage.** Characterized by a facade that is set back from the street property line and multiple levels of the building directly accessible from the street. Door Yard/Terrace is a variation on the Stoop frontage, but it provides opportunities for multiple levels of commercial/retail easily accessible from the street.

**Dwelling unit.** Any room or group of connected rooms that have sleeping, cooking, eating, and bathroom facilities and are intended for long-term occupation.

**Facade.** The architecturally finished side of a building, typically facing onto a public right-of-way or street.

**Form based code (FBC).** A development code emphasizing the regulation of building form, scale, and orientation, rather than zoning and land use.

**Frontage line.** A lot line fronting a street, public right-of-way, paseo, plaza, or park.

**Frontage type.** The architectural composition of the front facade of a building, particularly concerning how it relates and ties into the surrounding public realm.

**Front yard housing building type.** A detached building designed as a single-family residence, duplex, triplex, or quadplex. Front yard housing is accessed from the sidewalk adjacent to the street build-to line.



Gallery frontage. Characterized by a facade which is aligned close to or directly on the right-of-way line with the building entrance at sidewalk grade and with an attached colonnade that projects over the public sidewalk and encroaches into the public right-of-way. The sidewalk must be fully absorbed within the colonnade so that a pedestrian may not bypass it

Half block liner building type. An attached building with a frontage of approximately one-third to one-half the length of a Downtown block and zero side yard setbacks. It is used for mixed-use, residential, and commercial development.

Height. The vertical distance of a building measured between the point where the final grade intersects a building or its foundation to the highest point of the building directly above that point.

Historic building or resource. Historic buildings and resources are usually forty-five years old or older and meet at least one of the following criteria:

1. A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the National Register of Historical Places.
2. A resource included in a local or state register of historical resources, or identified as significant in a historical resource survey.
3. Any object, building, structure, site, area, place, record, or manuscript which the City determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of Tennessee, and:
  - a. Is associated with events that have made a significant contribution to the broad patterns of history and cultural heritage;
  - b. Is associated with the lives of persons important in our past;
  - c. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
  - d. Has yielded, or may be likely to yield, information important in prehistory or history.

Infill building type. An attached building with a frontage that is less than one-third the length of a Downtown block. It is used for mixed-use, residential, and commercial development.

Inset of front door from "build-to line." The distance from the front door of the building to the "build-to line" (see "Build-to line").

Maximum awning extension from building. The maximum distance allowed between the building and the end of a fully extended awning (see "Awning").

Neighborhood yard frontage. Characterized by deep front yard setbacks where the building facade is set back substantially from the front property line. The resulting front yard is unfenced and is visually continuous with adjacent yards, supporting a common landscape.

**Neighborhood Preservation Standards. Characterized by existing residential and commercial structures that do not meet the requirements of the existing Zoning Ordinance**

**for setbacks and nonconforming use regulations built in 1955 or before and lying within the Downtown Mixed Use District.**

Parking structure. A privately owned and operated multistory structure that provides public parking spaces.

Parking type. The type of parking allowed for motorized vehicles including automobiles, trucks, and motorcycles.

Porch frontage. Characterized by a facade which is set back from the property line with a front yard and by a porch which is appended to the front facade (the porch may encroach into the front setback).

Regulating plan. Designates building form and streetscape standards based on location, street hierarchy, and character. More specifically, it addresses how development interacts with the street and how the street is developed, and it defines the development standards (setbacks, building typology, street standards).

Rowhouse building type. Two or more detached two- or three-story dwellings with zero side yard setbacks. A Rowhouse may be used for nonresidential purposes.

Setback. The required distance between a property line and a building or ancillary structure.

5:300.4 - Allowed use regulations.

The purpose of this section is to list allowed uses according to districts and Downtown zones within the districts. This list is not meant to be exhaustive and does not regulate building character or design, but instead delineates the types of uses allowed within a building. These allowed use regulations are unique to Article 5.300 and are intended to implement the vision of the Kingston Springs Growth Plan and Design Standards.

Areas within the Downtown area that are zoned C-1 are subject to the applicable regulations in the Zoning Code related to that zoning district. Buildings constructed within Downtown are encouraged to comply with building placement and design standards set forth for the Mixed Use District.

- A. Permitted Uses. The following table (Table 5.300-1) identifies the permitted uses within the Downtown. These allowed use regulations are listed by street type, then by District, as applicable. The uses listed are defined in Section 5.300.3 (Definitions of Permitted Uses).

TABLE 5.300 -1: PERMITTED USES

Uses	Main Street	Service Street	Neighborhood Streets	
			MU-C	MU-R
Attached Single-Family Residential Upper Story	P	P	P	P
Commercial/Recreation/ Entertainment	C <sup>1</sup>	C <sup>1</sup>	C <sup>1</sup>	N
Detached Single-Family Residential	C	C	P	P
Institutional/Governmental	P	P	P	P
Home Occupation <sup>2</sup>	P	P	P	P
Live/Work Space	P	P	C	C
Mixed-Use	P	P	C	C
Multi-Family Residential	C	C	C	C
Neighborhood Commercial	P	P	C	C
Offices	P <sup>3</sup>	P	C	C
Retail Commercial	P <sup>1</sup>	P <sup>1</sup>	C <sup>1</sup>	N
Studio	P	P	C	C
Sit-Down Restaurants	P <sup>1</sup>	P <sup>1</sup>	C	N

Notes:

1. Alcohol sales permitted on premises.
2. Subject to Home Occupation standards.

3. Ground floors shall be constructed to accommodate commercial use. Ground floor residential uses may be permitted as conditional uses only.

The symbols are defined as: P—Permitted; C—Conditionally Permitted; N—Not Permitted.

B. Definitions of Permitted Uses.

1. Attached Single-Family Residential. A building designed exclusively for occupancy by one family on a single lot that has zero side yard setbacks and shares a party wall with the adjacent building(s) (e.g., townhouse).
2. Commercial Recreation and Entertainment. Establishments providing indoor or outdoor recreation and entertainment services including bars, movie theaters, health clubs, event venues, music studios, amphitheater, and alcohol are allowed upon approval by the Kingston Springs Beer Board or State Alcohol Beverage Commission.
3. Detached Single-Family Residential. A building designed exclusively for occupancy by one family on a single lot.
4. Institutional/Governmental. This use includes churches and related facilities, government agency and service facilities (e.g., post office, civic center, police department, fire department), as well as public educational facilities and publicly owned parkland.
5. Home Occupation. The conduct of a business within a dwelling unit or accessory structure on a residential site, employing occupants of the dwelling, and with the business activity being subordinate to the residential use of the property. Home occupations are typically home office use with a limited number of customers coming to the site. Examples include, but are not limited to, accountants and financial advisors, architects, artists, attorneys, and real estate sales, engineers, dentist, yoga studio, hair salon and other home businesses.
6. Live/Work Unit. An integrated housing unit and working space, occupied and utilized by a single household in a structure, either single-family or multi-family, that has been designed or structurally modified to accommodate joint residential occupancy and work activity, and which includes:
  - a. Complete kitchen space and sanitary facilities in compliance with the City building code; and
  - b. Working space reserved for and regularly used by one or more occupants of the unit.
  - c. Distinctions between live/work and work/live units: (a) the "work" component of a live/work unit is secondary to its residential use and may include only commercial activities and pursuits compatible with the character of a residential environment; (b) the work component of a work/live unit is the primary use to which the residential component is secondary.
7. Mixed-Use. Characterized by commercial retail use on the ground floor, and office, hotel, or residential use on the upper floors.

8. Multi-Family Residential. A building designed and intended for occupancy by two or more families, each living independently in a separate dwelling unit, which may be owned individually or by a single landlord (e.g., duplex, triplex, quadplex, apartment, apartment house, condominium).
  9. Neighborhood Commercial. A pedestrian-oriented market store oriented to the daily shopping needs of the surrounding residential areas. Neighborhood markets are less than two thousand five hundred square feet in size and operate less than eighteen hours a day. Neighborhood markets may include deli or beverage tasting facilities that are ancillary to the market/grocery portion of the use. Alcohol sales are allowed upon approval of the zoning use of the parcel by the Kingston Springs Regional Planning Commission and approval of an alcohol license by the Kingston Springs Beer Board and State Alcohol Beverage Commission.
  10. Offices. This use includes businesses providing direct services to consumers (e.g., insurance companies, utility companies), professional offices (e.g., accounting, attorneys, doctors, dentists, employment, public relations), personal services (e.g., barber and beauty shops, shoe repair, tailors), and offices engaged in the production of intellectual property (e.g., advertising, architectural, computer programming, photography studios).
  11. Retail Commercial. Stores and shops selling multiple lines of merchandise. These stores and lines of merchandise include, but are not limited to, art galleries, bakeries (all production in support of on-site sales), clothing and accessories, collectibles, department stores, drug stores, dry goods, fabrics and sewing supplies, florists and houseplant stores, farm or general stores, home décor and gift shops, hardware, hobby materials, music and instrument stores, newsstands, pet supplies, specialty shops, day spas, sporting goods and equipment, and stationery stores. Alcohol sales are allowed upon approval of the zoning use of the parcel by the Kingston Springs Regional Planning Commission and approval of an alcohol license by the Kingston Springs Beer Board and State Alcohol Beverage Commission.
  12. Sit-Down Restaurants. A retail business selling food and beverages prepared and/or served on the site, for on premise consumption where most customers are served food at tables, but may include providing food for take-out. Also includes coffee houses and accessory cafeterias as part of office and industrial uses. Alcohol sales are allowed for on-site consumption only. Alcohol sales are allowed upon approval of the zoning use of the parcel by the Kingston Springs Regional Planning Commission and approval of an alcohol license by the Kingston Springs Beer Board and State Alcohol Beverage Commission.
- C. Prohibited Uses. Regardless of zoning designation, unless it is found that the use is compatible with a mixed-use development, the following uses shall be prohibited:
1. Adult-oriented business;
  2. Agriculture and commercial nursery;
  3. Commercial cleaning plant;
  4. Boat, trailer, and vehicle (including parts) sales, service, storage and garages.

5. Camp and trailer park;
6. Car wash;
7. Drive-in/drive-through restaurants;
8. Equipment rental and sales yard;
9. Fuel dealers;
10. Laundry, commercial plant;
11. Recycling center and recyclable material collection facility;
12. Service station; Automobile sales parts or service; truck stop.
13. Uses involving hazardous materials or generating high level of noise incompatible with residential uses;
14. The Planning Commission may deem additional uses to be prohibited based on a finding that the use is similar in nature, function, and operation to the prohibited uses listed in this subsection.

#### 5.300.5 - Development standards.

Development standards for development activities are intended to encourage, protect, and preserve the historic urban image of Downtown Kingston Springs. They are also intended to improve overall aesthetic appearance and to serve as an incentive for private investment.

An important initiative of the Kingston Springs Mixed Use District is to clearly define development standards that shape the desired urban form. Building intensities are regulated through conformance to the prescribed development standards and design guidelines (e.g., height, setbacks, parking, form, massing).

##### A. General Development Standards.

1. **Mandatory Conformance.** Standards listed in this Section—General Development Standards—as well as architectural and design standards listed contained in the Design Review Guidelines, are mandatory requirements that must be satisfied for all new projects and modifications to existing development, as follows:
  - a. Projects shall be reviewed for conformance with these provisions as part of design review.
  - b. Modifications to existing development, except for minor modifications listed Subsection] c., below, only requiring issuance of a building permit, shall be reviewed for conformance to the standards during building permit review.
  - c. Standards within this Article are not applicable to minor modifications to a structure, including repair, restoration, or reconstruction, where such work, as determined by the Zoning Administrator, maintains the outer dimensions and surface relationships of the existing structure (e.g., repainting, replacement of windows or doors with matching size and style, or repair of exterior materials).
2. **Adaptive Reuse Provisions.** The following exemptions to the design standards are provided to allow the reuse of existing small scale buildings within the district:

- a. Within the MU-C portion of the district the following exemptions and provisions shall apply to nonconforming houses or stand-alone structures on lots seven thousand square feet or smaller:
  - i. Structures are exempted from the "build-to" requirements.
  - ii. Maintenance, repair and modifications are permitted without compliance to provisions within this Article provided such work does not exceed fifty percent (50%) of the appraised value thereof, according to the assessor's records or current appraisal of valuation of subject property. Any appraisal shall be furnished and paid for by the applicant.
  - iii. The design review committee shall review remodels, and expansions, unless otherwise exempted. A determination shall be made by the committee that the improvements comply with the spirit of the design standards by incorporating one or more features.

b. Within the MU-R portion of the district the following exemptions and provisions shall apply to nonconforming houses or stand-alone structures or conversions from residential to an allowed commercial use (e.g. offices, restaurants and small shops) and expansion of accessory uses or additions to existing residential structure are subject to review and approval by the planning commission and design review committee. The DRC shall review the conversion plans to ensure the character of the building is preserved and the encroachment on the front setback is not increased in width.

i. Existing nonconforming residential structures within the MU-R constructed in 1955 and before shall apply to the Kingston Springs Regional Planning Commission on a case by case basis to allow encroachments within the front setback areas to construct additions, porches, pergolas, or other accessory uses that do not increase the nonconformity of the front façade noncompliance. Examples include expansion of the width of porches, additions, and pergolas.

3. Area-Wide Height Requirements and Exceptions. The approval body may approve architectural features such as tower elements, elevator service shafts, and roof access stairwells that extend above the height limit. Telecommunications antennas and service structures located on rooftops may also exceed the maximum building height but shall be screened to the maximum extent possible.

B. Height Requirements. The maximum height is specified in Table 5.300-2 below and is intended to preserve the compact, walkable, historic Downtown core while simultaneously stimulating economic development in the commercial heart of the City.

TABLE 5.300-2: HEIGHT REQUIREMENTS

	Main Street	Service Street	Neighborhood Street	Avenue
Maximum Height <sup>1</sup>	35'	35'	35'	35'

1. The maximum height may not be increased.

C. Building Placement. The setbacks and build-to lines for Downtown Kingston Springs are intended to enhance social interactions in the historic Downtown retail core while simultaneously providing appropriate levels of privacy in residential areas.

Table 5300-3 displays setback requirements for each Downtown Kingston Springs district.

TABLE 5.300-3: SETBACK AND "BUILD-TO" REQUIREMENTS

Building Placement	Main Street	Service Street	Neighborhood Street		Avenue	
			MU-C	MU-R	MU-C	MU-R
Build-To Front Line *	0'	N/A	10'	15'	10'	15'
Minimum Side Yard	0'	0'	10'	10'	10'	10'
Minimum Rear Yard	0'	0'	10'	15'	15'	15'

\* Build-to lines are defined as the edge where the public right-of-way ends and the private property boundary begins. The line may vary from the standards specified in this table if a conflict exists with the allowed frontage type. Additional setback may be permitted to allow for outdoor seating, an entry plaza and other similar areas. Buildings may not be setback to accommodate parking in front of building facades.

D. Building Types. The following building types are intended to provide a variety of flexible building styles appropriate for the small town character of Kingston Springs that can be used to guide future development. Allowed building types in the different districts and along the four street types are listed in Table 5.300-5 and defined below. An "X" means that the building type is allowed; a blank cell means that the building type is not allowed.



TABLE 5.300-4: ALLOWED BUILDING TYPES

Allowed Building Types	Main Street	Service Street	Neighborhood Street		Avenue	
			MU-C	MU-R	MU-C	MU-R
Half Block Liner	X	X	X	X	X	X
Infill	X	X	X	X	X	X
Terraced		X	X	X	X	X
Front Yard Housing				X		
Rowhouse				X		
Courtyard Housing				X		

1. Half Block Liner. An attached building with a frontage of approximately one-third to one-half the length of a downtown block and zero side yard setbacks. It is used for mixed-use, residential, and commercial development.
  2. Infill. An attached building with frontage that is less than one-third the length of a downtown block and zero side yard setbacks. It is used for mixed-use, residential, and commercial development.
  3. Terraced. A mixed-use, residential, or commercial building characterized by individual units that are accessed via multileveled outdoor terraces. The terraces are intended to be semi-public spaces.
  4. Front Yard Housing. A detached building designed as a single-family residence, duplex, triplex, or quadplex. Front Yard Housing is accessed from the sidewalk adjacent to the street build-to line.
  5. Rowhouse. Two or more detached two or three story dwellings with zero side yard setbacks. A rowhouse may be used for nonresidential purposes.
  6. Courtyard Housing. A group of dwelling units arranged to share one or more common courtyards on a qualifying lot in any zone. Dwellings take access from the street or the courtyard(s). Dwelling configuration occurs as town houses, apartments, or apartments located over or under town houses. The courtyard is intended to be a semi-public space that is an extension of the public realm.
- E. Residential Standards When Part of Mixed-Use Development. The residential component of a mixed-use development may be located wholly within an existing commercial building or in an entirely new structure. The following requirements apply:

1. To provide adequate privacy and security, residential entrances may be grade-separated or placed in the quieter areas away from the main commercial portions.
  2. Access to residential use shall be clearly delineated.
  3. Access to open space areas, either public or private, shall be provided when available.
  4. When in a mixed configuration, residential uses should be located on the upper stories or on ground floors when they do not use storefront space. Residential uses may occupy, on a temporary basis, the ground floor of a building located on commercial street frontage, but the ground floor shall be designed to accommodate future commercial use.
  5. Units of various sizes (e.g., studios, one- and two-bedroom units) are encouraged.
  6. Open space shall be required regardless if the residential use is located in an existing, expanded, or new structure:
    - a. The amount of open space shall be governed by the standards of the residential zoning most similar in nature and function to the proposed residential portion of the mixed-use development. However, the amount may be reduced based on the anticipated needs of the future tenants and the quality, usefulness, and/or amenities within the spaces provided.
    - b. On-site open space may include, but is not limited to, pedestrian walkways, plaza areas, landscape areas, roof gardens, terraces, and other creative spaces which may be used either visually, actively, or passively by the residents within the development.
    - c. Public open space such as parks, plazas, public recreational facilities, and other similar facilities located within one-quarter mile may be counted toward the open space requirement for the mixed-use development.
- F. Storefront Regulations. The following storefront standards are intended to provide continuity of building form at street level in Downtown Kingston Springs. Additionally, standards are meant to enhance the relationship between buildings and the sidewalk, subsequently encouraging more pedestrian activity (See Design Review Guidelines).
- G. Entry Plazas and Seating Areas. Downtown stores are encouraged to integrate outdoor seating and entry plazas into the design of buildings. The building facades may be setback from the build-to line to accommodate outdoor seating and/or plazas. Storefront windows and doors shall be used to ensure that a visual connection is maintained between the outdoor and indoor areas of the use.
- H. Parking, Landscape, Lighting, and Signage must be in compliance with the Kingston Springs, TN Sign Ordinance and the Design Review Guidelines. Parking areas should be designed to encourage pedestrian activity and economic growth in Downtown Kingston Springs. In the design of parking facilities, consideration should be given to locating parking in the back, side, or rear of buildings.

### 5.300.6 Special use regulations and other standards.

The purpose of the following special use regulations is to address concerns and provide standards for the following types of development and issues specific to Downtown Kingston Springs.

These standards should ensure consistency with the vision and goals defined in this Zoning Ordinance and the Growth Plan by providing guidance to planners, developers, and residents on these unique topics.

- A. Live/Work. Live/work units are built spaces that function predominantly as work spaces and secondarily as residences.

Live/work units are permitted in buildings through a conditional use permit which demonstrates compliance with the following standards:

1. The unit must contain a cooking space and bathroom in conformance with applicable building standards.
  2. Adequate and clearly defined working space must constitute no less than fifty percent of the gross floor area of the live/work unit. Said working space shall be reserved for and regularly used by one or more persons residing there.
  3. At least one residence in each live/work unit shall maintain at all times a valid city business license for a business on the premises.
  4. Persons who do not reside in the live/work unit may be employed in a live/work unit when the required parking is provided.
  5. Customer and client visits are allowed when the required parking is provided.
  6. No portion of a live/work unit may be separately rented or sold as commercial or as a residential space to persons not living or working on the premises.
- B. Newspaper Racks. For the purpose of this section, "newspaper rack" is defined as any type of unattended device placed upon or abutting any public right-of-way for the vending, display, or free distribution of newspapers, or other written materials.
1. Permission to install a newspaper rack requires an encroachment permit from the City of Kingston Springs.
- C. Public Art. For the purpose of this section, "public art" in Downtown Kingston Springs is defined as permanent or temporary works of art in the public realm, whether part of a building or freestanding. Public art shall not include any form of commercial advertising.
1. Public art shall be permitted and encouraged in public plazas, parks, and municipal buildings. Additionally, the incorporation of public art into private development projects is strongly encouraged.
  2. Possible types of public art include but are not limited to the following options:
    - a. Building features and enhancements such as bike racks, gates, benches, water features, or shade screens that are unique and/or produced in limited editions by local and regional artisans.

- b. Landscape art enhancements such as walkways, bridges, or art features within a garden.
  - c. Murals or mosaics covering walls, floors, and walkways. Murals may be painted or constructed with a variety of materials, including the use of imbedded and nontraditional materials.
  - d. Sculptures, which can be freestanding, wall-supported or suspended, kinetic, electronic, and made of durable materials suitable for the site.
  - e. Fiberwork, neon, or glass artworks, photographs, prints, and any combination of media including sound, film, and video systems, or other interdisciplinary artwork applicable to the site.
  - f. Community arts projects resulting in tangible artwork, such as community murals, sculptures, or kiosks.
- D. Storefront Vacancy. For the purpose of this Section, a "storefront vacancy" in Downtown Kingston Springs is defined as a vacant commercial ground floor (street-level) space in any otherwise occupied or unoccupied building.
- 1. Vacant storefronts shall be properly locked and secured to prevent unauthorized trespassing during the period of vacancy.
  - 2. The exterior facade of vacant storefronts shall be maintained by the property owner at the same level of quality as surrounding occupied storefronts and buildings.
  - 3. Property owners of vacant storefronts are encouraged to use creative temporary storefront window areas such as using them as a display area for community information, public art by local artists, and other uses as approved by the Planning Commission.
  - 4. Property owners of vacant storefronts will be advised to seek assistance from county economic development staff regarding possible available tenants.
  - 5. Vacant storefronts shall not be boarded up or otherwise appear derelict or abandoned.
  - 6. An adequate level of exterior security lighting shall be regularly maintained regardless of storefront occupancy status.