



Board of Zoning Appeals

Kingston Springs, Tennessee

September 27, 2022

Meeting Packet



**Kingston Springs Board of Zoning Appeals
Meeting Agenda
September 27, 2022**

The meeting was called to order by _____ at _____ pm.

1. Roll Call of Voting Members:

Bob Sanders	_____
Ginger Hockenberger	_____
Bridget Wilson	_____
Jane Polansky	_____
Joanna Gupta	_____

2. Non-Voting Staff:

Sharon Armstrong, City Planner	_____
John Lawless, City Manager	_____
Martha Brooke Perry, City Attorney	_____

3. Declaration of Quorum by Chairperson:

4. Motion to approve the July 20, 2022 Board of Zoning Appeals meeting minutes.

5. Motion to approve the September 27, 2022 Board of Zoning Appeals meeting agenda.

6. Community Input and Concerns

7. Old Business

A. None

8. New Business

A. Kingston Springs Board of Zoning Appeals Officer Elections.

Current chair turns over the meeting to City Manager for election of Chair.

City Manager opens the floor to nominations for Kingston Springs Board of Zoning Appeals Chair.

Elected Chair then opens the floor to nominations for Vice-Chair and Secretary.

B. Matt and Kayla Carson, Patterson Dr. Map 96J Grp A Parcel 66. Property divided by deed.

- Request to establish the parcel as a Lot of Record, Article VII, Section 7.060, Lots of Record.
- Variance from the Zoning Ordinance, Article III, Section 3.100, Subpart 3.140.1 (C), Critical Lot Standards.

C. Board of Zoning Appeals Training.

9. Other (For Discussion Only)

10. The meeting was adjourned by _____ at _____ pm.

Bob Sanders
Vice-Chair, Board of Zoning Appeals

Jamie Dupré
City Recorder



**Kingston Springs Board of Zoning Appeals
Meeting Minutes
July 20, 2022**

The meeting was called to order by Vice-Chair Bob Sanders at 5:30 pm.

1. Roll Call of Voting Members:

Bob Sanders	Present
Ginger Hockenberger	Absent
Bridget Wilson	Absent
Jane Polansky	Present
Joanna Gupta	Present

2. Non-Voting Staff:

Sharon Armstrong, City Planner	Present
John Lawless, City Manager	Present
Martha Brooke Perry, City Attorney	Absent

3. Declaration of Quorum by Chairperson:

Meeting quorum declared by Vice-Chair Sanders

4. Motion to approve the February 17, 2022, Board of Zoning Appeals meeting minutes.

Motion to approve the February 17, 2022, Board of Zoning Appeals meeting minutes made by Sanders, seconded by Polansky and passed unanimously.

5. Motion to approve the July 20, 2022 Board of Zoning Appeals meeting agenda.

Motion to approve the July 20, 2022, Board of Zoning Appeals meeting agenda made by Sanders, seconded by Gupta and passed unanimously.

6. Old Business

A. None

7. New Business

A. Hammers, 257 Harpeth View Trail, Kingston Springs, TN 37082. R-1 Residential District. Location of a Commercial Real Estate Office in a R-1 Low Density Residential Zoning District.

After a general introduction of the agenda item a motion to recess the meeting to offer an opportunity for public comment was made by Sanders and seconded by Polansky. Motion passed and the meeting was recessed at 5:37pm. Vice-Chair Sanders brought the meeting back into session at 5:40pm. City Planner Armstrong then explained the applicant's request and the reasoning behind staff's denial of the request. Armstrong explained this residence was in an R-1 Low Density Residential Zoning District where this type of commercial activity was not allowed. Armstrong also covered the special exception uses in this zoning district as well as the customary incidental home occupation allowable via the Kingston Springs Zoning Ordinance as reasons why this activity was not deemed an acceptable use for the district.

Mr. Hammers then spoke to the Board and described the extent of this home occupied business. Mr. Hammers indicated there would be no client visits to the house, so no additional neighborhood traffic and no onsite parking needed. Hammers also stated there would be no exterior signage for the business at this residence. Hammers stated he is not looking for a zoning change, but a zoning variance to allow his business at this location as the state requires a zoning letter for their approval of his business operating at this address.

Board member Polansky asked Mr. Hammers if he had run this type of business from his previous address. Hammers stated yes, his business was run out of his home in Franklin, Tennessee as this type of use was allowed in their zoning. Polansky then asked again about any signage associated with the business. Hammers stated there would be no signage associated with the business at the residence. Polansky then asked Planner Armstrong if this variance request would apply to just this parcel or would it apply to the entire zoning district. Armstrong replied that this request is for this particular parcel but reminded the Board that any variance granted has implications on all future requests of this type in this zoning district.

With no more questions or discussion, a motion was made by Board member Gupta to grant the request of the applicant and allow Mr. Hammers to operate a

Commercial Real Estate Office at 257 Harpeth View Trail, Kingston Springs, TN 37082. Motion was seconded by Vice-Chair Sanders. A vote was held with Sanders voting yes, Gupta voting yes, and Polansky voting no. Motion passed.

8. Other (For Discussion Only)

None

9. The meeting was adjourned by Vice Chair Sanders at 6:01pm.

Bob Sanders
Vice-Chair, Board of Zoning Appeals

Jamie Dupré
City Recorder

S.B.



Town of Kingston Springs
Building and Codes Department
PO Box 256
396 Spring Street
Kingston Springs, TN 37082
615-952-2110

KINGSTON SPRINGS APPLICATION FOR REVIEW

Board of Zoning Appeals, Board of Construction/Sign Appeals

- Board of Zoning Appeals Residential **(\$150.00)** (34125)
- Board of Zoning Appeals Commercial **(\$200.00)** (34125)
- Board of Construction Appeals **(\$150.00)** (34125)
- Board of Sign Appeals **(\$175.00)** (34125)

Date of Application: August 23, 2022

Property Address/Location: _____

Property Owner's Name: Matt & Kayla Carson

Property Owner's Address: _____

Property Owner's Primary Phone #: 423-767-4800 Secondary #: 615-512-2464

Property Owner's Email: Carsongolftn@gmail.com

Section for Appeal: 3.140.1.C Page Number: _____

Description of Appeal Request: Establish the parcel as a lot of record.

Property was divided by deed.

Reason: _____

Attachments? Describe: _____

Signature of Applicant:  Date: August 30, 2022

BACK OF THIS FORM IS FOR OFFICE USE ONLY



Town of Kingston Springs
 Building and Codes Department
 PO Box 256
 396 Spring Street
 Kingston Springs, TN 37082
 615-952-2110

Applications will be processed in the order received and will be completed as soon as possible once all required submissions are provided by the applicant.

Residential Building/Remodeling Permit Application

Type of Permit:	<input checked="" type="checkbox"/> New Build	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel/Repair
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Property Owner Information
Property Owner's Name: <i>Math & Kayla Carson</i>
Phone Number: <i>423-767-4800</i>
Email: <i>Carsongolftr@gmail.com</i>

INTERNAL USE ONLY
Permit #:
Expiration Date:

Property Information
Property Address: <i>Patterson Dr.</i>
City: <i>Kingston Springs</i> State: <i>TN</i> Zip: <i>37082</i>
Map/Parcel # (leave blank if not known): <i>096J A 066.00</i>

Contractor Information	
Company: <i>McPherson Shaw, Inc.</i>	Contact Person: <i>Nathan Douglas</i>
Address: <i>147 Maple Row Blvd.</i>	City: <i>Hendersonville</i> State: <i>TN</i> Zip: <i>37075</i>
Phone: <i>615-822-8020</i>	State of TN License #:
Cell: <i>615-448-8404</i>	Cheatham County Business License #:
Email Address: <i>ndouglas@mcphersonshaw.com</i>	NOTE: Include Copies of Licenses and Proof of Insurance with Application

The information submitted in this Project Application may be used by the Town of Kingston Springs and/or any of its contractors or consultants. By signing below you certify that you are the owner of record of the named property, or that the proposed work has been authorized by the owner of record and that you have been authorized by the owner to make this application as his/her/their authorized agent. You agree to conform to all applicable laws, statutes, ordinances, and codes of this jurisdiction, including those adopted by reference. If the Town issues a permit for the work described in this Project Application, you certify that the Towns Code Enforcement Official or the Code Enforcement Official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the laws, statutes, ordinances, and codes applicable to such permit. I certify that the information and exhibits herewith are true and correct.

Property Owner Contractor

Signature: *Nathan Douglas* Print Name: *Nathan Douglas* Date: *7/25/22*



Town of Kingston Springs
 Building and Codes Department
 PO Box 256
 396 Spring Street
 Kingston Springs, TN 37082
 615-952-2110

PROJECT INFORMATION

Type of Work:	<input checked="" type="checkbox"/> New Build	<input type="checkbox"/> Addition:	<input type="checkbox"/> Remodel/Repair
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Total cost of project: \$725,000

Current use of property:	<input checked="" type="checkbox"/> Vacant	<input type="checkbox"/> Residential	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Commercial	<input type="checkbox"/> Other
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Description of work:
 New Construction (see plans)

1st Floor 2498 sf
 2nd Floor 1145 sf
 Heated/Cooled 3643 sf

Square Feet Information	Existing s/f – complete for additions only	New s/f – added to existing footprint	Total s/f
First floor:			
Second floor:			
Basement:			
Attached Garage			
Detached Garage			
Accessory Structure			
Deck			
Covered Porch/Patio			
Driveway			

Total Rooms (including baths):	Total Bedrooms: 4	Total Baths: 3 1/2	Total Stories: 2
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- Will there be any plumbing covered by concrete in this structure? [] Yes No
- Will this be a monolithic slab? [] Yes No
- Will there be a crawl space? Yes [] No
- Will there be any sub-walls? [] Yes No
- Will there be a separate garage slab? Yes [] No

CONTRACTOR AUTHORIZATION

I, the contractor, authorize the property owner to pursue a building permit under my business license name and number.

Contractor Signature: [Signature] Date: 7/25/22

Site Plan

(May include on separate sheet)

	Distance to and location of any critical area, such as stream, creek, river, irrigation ditch, floodplain
	Street frontage
	Access/Driveway
	Lot lines and dimensions
	Location of all structures and specific use (any new buildings will require building permits)
	Location of well, septic, and drain field
	Distances between all structures and property lines
	Easements and/or right-of-way and any overhead or underground utility lines

See Attached



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SETBACK REQUIREMENTS

It is the responsibility of the applicant to comply with the placement of any improvements on a lot (footings, foundation, etc.) in accordance with the minimum required building setback lines on the front, rear, and side of the property. These requirements are set by the Zoning District the property is located in, as well as by other plans, plats or restrictive covenants of record. The Town of Kingston Springs and its planning commission will gladly provide information on setback requirements established by the town's zoning ordinance, but is not responsible for providing information or enforcing requirements from plats of record or restrictive covenants.


The applicant must determine that all minimum setback requirements are met and are strongly encouraged to use a licensed surveyor to establish certainty. Additionally, it is the applicant's responsibility to place the improvement within the building envelope and not encroach upon restricted lot areas such as the septic disposal field and public utility and drainage easements. Should this office question the placement of the building at the time of the footing inspection, a surveyor's certificate will be required. Failure to comply will not guarantee a variance will be granted or required. However, it may have a financial impact on the applicant with regard to third parties such as a mortgage lender. If you have any questions, please contact the Building Inspector.

ZONING REQUIREMENTS

It is the responsibility of the applicant to comply with the placement of any improvements on a lot (footings, foundation, etc.) in accordance with the minimum required building setback lines on the front, rear, and side of the property. These requirements are set by the Zoning District the property is located in, as well as by other plans, plats or restrictive covenants of record. The Town of Kingston Springs and its planning commission will gladly provide information on setback requirements established by the town's zoning ordinance, but is not responsible for providing information or enforcing requirements from plats of record or restrictive covenants.

The applicant must determine that all minimum setback requirements are met and are strongly encouraged to use a licensed surveyor to establish certainty. Additionally, it is the applicant's responsibility to place the improvement within the building envelope and not encroach upon restricted lot areas such as the septic disposal field and public utility and drainage easements. Should this office question the placement of the building at the time of the footing inspection, a surveyor's certificate will be required. However, it may have a financial impact on the applicant with regard to third parties such as a mortgage lender. If you have any questions, please contact the Building Inspector.

I have read and understand the Town of Kingston Springs policy regarding setback and zoning requirements and I hereby certify that all work related to this application will be performed in accordance with all applicable town, and state laws and codes pertaining to building construction, and demolition and the information submitted and contained herein is accurate and correct. I further certify that I am the owner or an authorized agent of the property owner listed in this application, and have authority to make application for work to be performed.

Signature  Print Name Natho Juglar Date: 7/25/22



Sprinkler System Requirements

A Building Permit will not be issued until this process has been completed and the appropriate signatures have been acquired on this form.

A sprinkler system is required for this construction in order to be in compliance with the Town's ordinances:

Signature: _____

Town of Kingston Springs, Tennessee Building and Codes Official

Date _____

THIS FORM MUST ACCOMPANY ALL SUBMITTED PLANS FOR A RESIDENTIAL OR COMMERCIAL BUILDING PERMIT, INCLUDING ADDITIONS AND EXPANSIONS. A COPY OF THE APPROVED SPRINKLER PLAN MUST BE ATTACHED TO THIS FORM FOR STRUCTURES THAT REQUIRE A SPRINKLER SYSTEM.

PRIOR TO BUILDING PERMIT BEING ISSUES:

- Find a certified/ licensed sprinkler contractor.
- The sprinkler contractor should contact the Second South Cheatham Utility District (SSCUD) at 615-952-3094 for flow and pressure information.
- Once the sprinkler contractor develops a hydraulic analysis, SSCUD will give a cost estimate for the tap required. Backflow information will also be provided by SSCUD to the licensed sprinkler contractor.
- The sprinkler contractor needs to establish what equipment needs to be installed to comply with the Town's ordinance and building codes and develop a sprinkler system plan.
- **A copy of the receipt from the Second South Cheatham Utility District for the water tap must be included with this information prior to issuance of a Building Permit.**

GENERAL CONTRACTOR NAME:

McPherson Shaw, Inc.

SPRINKLER CONTRACTOR NAME:

Tenn-Ky Automatic Sprinkler Co

ADDRESS OF CONSTRUCTION SITE:

Patterson Dr.

TYPE OF CONSTRUCTION: RESIDENTIAL [] COMMERCIAL

TYPE OF SPRINKLER SYSTEM: [] WET LINE [] DRY LINE

SIZE OF WATER MAIN: _____ INCHES

SIZE OF TAP NEEDED: _____ INCHES

FEE FOR TAP: \$ _____

DOUBLE CHECK VALVE NEEDED: [] YES [] NO

BACKFLOW PREVENTER NEEDED AT THE METER: [] YES [] NO



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Building and Codes Department
PO Box 256
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REVIEW and INSPECTION PASS-THRU CHARGES

Per Section 20-301 of the Kingston Springs, Tennessee Municipal Code the town has the authority to pass-thru charges incurred by Town staff or consultants related to project review or inspection that may be required on a per project basis:

Ordinance 04-009. Section 20-301. Oversight and Project Site Inspection Charges.

1. All owners, developers and applicants, individually or by their authorized agents, employees or servants, seeking municipal approval for any proposed development/improvement of land by: subdivision, planned unit development, site plan, special exceptions approved by the board of zoning appeals, use changes, landscape plans, sketch plats, preliminary plats, final plats, construction plans, grading plans, roadway plans, drainage plans, wastewater facility plans, matters requiring the establishment of performance bonding, dedication of easements and facilities/structures associated with any of the foregoing, shall be responsible for the reimbursement to the Town of Kingston Springs for all actual review charges including, but not limited to, engineering review, engineering oversight and project site inspection charges/fees for services incurred by said town by virtue of, and as relate to the foregoing, by the town's designated consulting engineer and/or his appointed designee, City Attorney or any other designated consultant rendering services ancillary to the foregoing for and on behalf of the municipality.
2. All actual charges to be reimbursed to the municipality shall be paid within fifteen (15) days from the date of billing by the municipality. In the event said reimbursed charges are not paid, timely, any permit or approval before given or issued shall become void and default may be declared upon any performance bonding posted with the Town of Kingston Springs.
3. Notwithstanding all of the foregoing, certain charges shall be paid at the time of submittal or time of application is made to the town or its planning commission as a base minimum, all of which is set forth on Appendix "A" of the Municipal Code hereto and of which is incorporated by reference herein.
4. This ordinance is not deemed to be a tax but is to offset actual incurred expenses of the municipality for an owner, developer and applicant seeking development of land and improvement of lands within the municipality. (Ord. #95-001, April 1995, as replaced by Ord. #04-009, Sept. 2004)

I have read Section 20-301 of Ordinance 04-009 and understand that I am responsible for all review and inspection fees to be reimbursed to the Town of Kingston Springs.

Signature: _____

Date: _____

7/25/22

OFFICE USE ONLY

APPLICANT DO NOT WRITE BELOW THIS LINE

ZONING COMPLIANCE / PLANNING AND ZONING REVIEW AND COMMENTS:

Lot of Record - Please complete and file the attached application for the Board of Zoning Appeals. Lot contains 1.81 acres. Zoning Ordinance requires 2 acres for Critical Lots (See attached Zoning Ordinance Sections for Critical Lots and Lots of Record. TDEC Septic System Permit notes state the installation must be 15' from the structure and 10' ft from property lines.

Please indicate the TDEC Septic System Requirements on the Site Plan and Plat. Permit cannot be issued until all requirements are met.

Approved/Rejected:

SHARON ARMSTRONG

Digitally signed by SHARON ARMSTRONG DN: cn=SHARON ARMSTRONG, o=Town of Kingston Springs, TN, ou=PLANNING, email=cityplanner@kingstonsprings tn.gov, c=US Date: 2022.08.18 08:55:05 -0500'

Zoning/Land Use:

Date: 18 AUGUST 2022

Building Official:

Date:

DOUBLE PERMIT FEES WILL BE CHARGED FOR WORK STARTED PRIOR TO OBTAINING PERMITS

Permit Fees:

Table with 4 columns: Permit Type, Total sq.ft., Unit Price, and Total Amount. Rows include Residential Building Permit, Adequate Facilities Tax, Residential Addition, Residential Remodeling Permit, Residential Sewer Hook Up, Pass-Thru Charges, Pass-Thru Reason, and Cheatham Co. Development Tax Collected*.

NOTE:

- *Cheatham County Development Tax: Minimum \$50.00 due at Permit Issuance. Remaining balance of \$2950.00 total due prior to issuance of Certificate of Occupancy.
Separate Driveway Permit Application and fee is required if new driveway is installed or existing driveway is altered.
Residential Sprinkler Plan review by the Town of Kingston Springs is not required. However, if review is requested by the applicant, stamped plans must be submitted and review cost will be a pass-thru to consultant.

TOTAL PERMIT FEE DUE: \$ (other fees may still apply)

Date Paid:

Amount Paid:

Receipt Number:

This instrument was prepared by B. J. Boyd, Atty., Ashland City, Tenn.

FILED FOR RECORD MAY 27, 1976, at 8:50 O'CLOCK A.M.

WARRANTY DEED

ADDRESS NEW OWNER (S) AS FOLLOWS:			SEND TAX BILLS TO:			MAP PARCEL NUMBERS		
Mr. & Mrs. Donnie Edens								
(NAME)			(NAME)					
(STREET ADDRESS OR ROUTE NUMBER)			(STREET ADDRESS)					
Kingston Springs, Tenn. 37082								
(CITY)	(P. O. ZONE)	(STATE)	(CITY)	(ZONE)	(STATE)			

FOR AND IN CONSIDERATION of the sum of Two Thousand and No/100 (\$2,000.00)

Dollars.

cash paid by Donnie Edens and wife, Sandra D. Edens, the receipt of which is hereby acknowledged, we, Johnnie Shelton and wife, Aline Shelton,

have this day bargained and sold, and do hereby transfer and convey unto the said Donnie Edens and wife, Sandra D. Edens, and their

11th District of Cheatham certain real estate in Cheatham County, Tennessee, as follows: heirs and assigns.

Beginning at a point in the center of Fairview Road, N. E. corner of a tract of 1.05 acres conveyed to Annie Mai Dunn by deed of record in Book 181, Page 82, Register's Office for Cheatham County, Tennessee, formerly a part of this tract; thence with the north line of said 1.05 acres tract, due west 29.28 feet to an iron pin in the W. margin of said road; thence continuing due west 299.28 feet to an iron pin, N. W. corner of 1.05 acres tract; thence with the W. line of said tract, 7° 41' W. 187.33 feet to an iron pin, S. W. corner of said 1.05 acres tract; and in the N. line of a tract of 19.88 acres, part of this tract; thence with said line, S. 81° 16' W. 354.13 feet to a stake in said line, S. E. corner of Tidwell Property; thence with E. line of Tidwell property, N. 4° 05' 08" W. 217.94 feet to an iron pin in the S. margin of Patterson Road; thence with S. margin of Patterson Road, N. 76° 59' 22" E. 186.62 feet to a stake and due East 491.4 feet to an iron pin in the W. margin of Fairview Road; thence continuing due east 25 feet to a point in the center of said road; thence with center of said road southwesterly 21.53 feet to the beginning, containing 2.04 acres, more or less. And being part of the same land conveyed to Johnnie Shelton and wife, Veola Shelton, by deed dated March 3, 1941, of record in Book 72, Page 396, Register's Office for Cheatham County, Tenn. Upon the death of Veola Shelton, title to said land vested in her husband, Johnnie Shelton as survivor.

STATE OF TENNESSEE
COUNTY OF CHEATHAM

The actual consideration or value whichever is greater, for this transfer is \$ 2,000.00

Subscribed and sworn to before me, this the 22nd day of May 1976

My commission expires Jan 21 - 1980 (Affix Seal)

Johnnie W. Shelton Affiant
Betty J. Stanley Notary Public

tenant by the entirety. Aline Shelton is the present wife of Johnnie Shelton. This is improved property, known as (House Number) (Street) P. O. Address: (City or Town)

TO HAVE AND TO HOLD said real estate, with the appurtenances, estate, title and interest belonging to the said Donnie Edens and wife, Sandra D. Edens, and their

heirs and assigns forever. We coenant that we are lawfully seized and possessed of said real estate in fee simple have a good right to convey it, and that the same is unencumbered, except taxes for 1976, payment of which is assumed by purchasers.

We further coenant and bind ourselves and our heirs and representatives, to warrant and forever defend the title to said real estate to said Donnie Edens and wife, Sandra D. Edens,

and their heirs and assigns, against the lawful claims of all persons.

Witness our hand S this 22nd day of May 1976, the corporate party, if any, having caused its name to be signed hereto by its duly authorized officers on said day and date.

Johnnie W. Shelton
Aline Shelton

STATE OF TENNESSEE }
COUNTY OF ~~DAVIDSON~~ }
CHEATHAM

Personally appeared before me, CHEATHAM, the undersigned, a Notary Public in and for said County and State, Johnnie Shelton and wife, Aline Shelton,

the within named bargainer, S, with whom I am personally acquainted, and who acknowledged that they executed the within instrument for the purposes therein contained.

Witness my hand and official seal at Kingston Springs, Tennessee, this 22nd day of May, 1976.

Commission expires Jan 21-1980 Betty J. Stanley Notary Public
(NOTARY SEAL)

STATE OF TENNESSEE }
COUNTY OF DAVIDSON }

Before me, _____, a Notary Public of the State and County aforesaid, personally appeared _____ with whom I am personally acquainted, and who, upon oath, acknowledged _____ self to be _____ of the _____ the within named bargainer, a corporation, and that _____ as such being authorized so to do, executed the foregoing instrument for the purpose therein contained, by signing the name of the corporation by _____ self as _____

Witness my hand and seal, at office in _____ this _____ day of _____, 19____

Commission expires _____ Notary Public

STATE OF TENNESSEE }
CHEATHAM COUNTY: }
Office of the Register: 5-27, 1976.
I, BETTY J. ROSS, Cheatham County Register do certify that the foregoing instrument and certificate were received in my office at 8:50 o'clock 9, A. M., on 5-27, 1976, entered in Note Book H, Page 160, and recorded in Book No. 183, Page 299. The following amounts were paid under Receipt No. 15378:
STATE TAX: DEEDS: \$ 5.20
STATE TAX: MTGS.: \$ _____
PROBATE FEE : \$.50
RECORDING FEE : \$ 4.00
TOTAL : \$ 9.70
Betty J. Ross Register

WARRANTY DEED
FROM
JOHNNIE SHELTON AND WIFE,
ALINE SHELTON
TO
DANNIE EDENS AND WIFE,
SANDRA B. EDENS

Compliments of
Chicago Title Insurance Company
First Floor — First American Center
NASHVILLE, TENNESSEE 37238
Phone 255-4631

3.140.1.C. Hillside Development Standards. It is the intent of these regulations to generally limit the use of property with natural slopes of twenty (20) percent or greater due to inherent problems associated with stability, drainage and erosion control. The provisions of ARTICLE 6, (CONSERVATION SUBDIVISIONS) of the Subdivision Regulations are specifically designed to permit reduced lot sizes so as to avoid the necessity of maximizing the site development to achieve the density permitted within the various zoning districts established by this ordinance. It is, however, recognized that steep residential building sites located along bluffs and ridge-lines are often attractive due to the views and isolation. To that end, these regulations are intended to permit use of these steep sites as building locations subject to stringent environmental and engineering controls aimed at protection of property owners and the general public.

1. Single- and Two-Family Dwellings a.

Designation as Critical Lot

Any lot two (2) acres or less in size that is created for use as a building site for a single or two family dwelling shall be considered a “critical lot”.

b. Critical Lot Plan Required

Prior to application for a building permit on a lot designated as critical, a plan shall be submitted to the Enforcing Officer for approval. Such plan shall demonstrate, through the use of special design and construction techniques, that a residential structure will be constructed on the lot in a manner that effectively minimizes disturbance of the hillside and optimizes the preservation of mature trees and will not adversely impact the storm water runoff on down slope or adjacent properties. As a minimum such plan prepared by a licensed civil engineer shall contain a preliminary grading study and a description of the measures to be taken:

- To minimize changes in grade, cleared area, and volume of cut or fill, and to control adverse impacts on the critical lots during and following the period of site disturbance.
- To align streets to minimize disturbance of slopes.
- To identify easements along property lines to meet future drainage needs.

The Enforcing Officer may direct a critical lot plan to the Planning Commission for decision.

c. Grade Changes and Site Stability

Changes to grade, cleared area, and volume of cut and fill on the site shall be minimized. The provisions of Subparts 4-102.9 (Grade Changing) and 4-102.10 (Grade Changing Devices) of Section 4-102, (GENERAL LOT REQUIREMENTS) of the Subdivision Regulations shall apply to all portions of such developments.

d. Restrictions to Be Noted on Subdivision Plats

All specially noted design, construction and drainage standards shall be incorporated into the preliminary and final subdivision plat approvals, and recorded in the form of a covenant running with the land.

e. Clearing of Trees

The clearing of trees exceeding eight inches in diameter from those natural slopes equal to or greater than twenty-five percent shall be minimized.

f. Minimum Lot Size

Within areas of steep slopes the following minimum lot size provisions shall apply. Where these provisions require lots greater in size than that otherwise required for the zone district, these provisions shall apply.

NATURAL SLOPE	MINIMUM LOT SIZE
<15%	Requirements of Zone District
15%<20%	1 acre
>20%	2 acres

2. All Other Development in Residential Districts

For any multifamily or nonresidential form of development occurring within a residential district manipulation of the natural slopes by grading shall result in reduced lot coverage as shown in Table 3-140 for those portions disturbed.

- a. That portion of a multifamily development site containing large contiguous areas of natural slopes of twenty-five percent or greater should be permanently maintained in a natural state. The clearing of trees exceeding eight inches in diameter from those natural slopes shall be minimized by sensitive construction techniques.
- b. The use of retaining walls, rip-rap or hydraulically applied concrete to stabilize slopes within multifamily developments shall be screened.

TABLE 3-140 A

LOT COVERAGE ADJUSTMENTS (RESIDENTIAL DISTRICTS)

(Slope Adjustment Factor) X Maximum Lot Coverage = Adjusted Lot Coverage Permitted

NATURAL SLOPE	ADJUSTMENT FACTOR	X	Maximum Lot Coverage for District (as % of lot area)	=	Adjusted Lot Coverage Permitted
<15%	1.0				
15 <20%	.66				
20 <25%	.33				
25%+	0.0				

* For the purposes of calculation, slopes may be averaged for the entire lot area employing slope contour intervals of two feet.

7.060. Lots of Record. The following provisions shall apply to all existing lots of record:

A. Where the owner of a lot consisting of one or more adjacent lots of official record at the time of the adoption of this ordinance does not own sufficient land to enable him to conform to the yard or other requirements of this ordinance, an application may be submitted to the Board of Zoning Appeals for a variance from the terms of this ordinance. Such lot may be used as a building site, provided, however, that the yard and other requirements of the district are complied with as closely as in the opinion of the Board of Zoning Appeals is possible.

B. No lot which is now or hereafter built upon shall be so reduced in area that the yards and open space will be smaller than prescribed by this ordinance, and no yard, court, or open space provided around any building for the purpose of complying with the provisions hereof, shall again be considered as a yard, court, or other open space for another building.

C. Where two or more lots of record with a continuous frontage are under the same ownership, or where a substandard lot of record has continuous frontage with a larger tract under the same ownership, such lots shall be combined to form one or more building sites meeting the minimum requirements of the district in which they are located.

7.070. Exceptions to Setback Requirements. The front setback requirement of this ordinance for dwellings shall not apply to any lot where the average depth of existing setbacks on the developed lots located within one hundred (100) feet on each side of such lot is less than the minimum required front yard depth. In such cases, the front yard setback may be less than required but not less than the average of the existing depth for front yards on developed lots within one hundred (100) feet on each side of the lot. In residential districts, however, the setback shall in no case be less than fifteen (15) feet from the street right-of-way line.

7.080. Absolute Minimum Lot Size. In no case shall the Building Inspector or the Board of Zoning Appeals permit any zone lot in a residential district to be used as building site which is less than six thousand (6,000) square feet in total area and thirty (30) feet in width at its narrowest point, or has a front setback of less than fifteen (15) feet and a side setback of less than five (5) feet.

7.090. Zero Lot Line Duplex Requirements. Zero lot line duplex dwellings shall be subject to the following requirements:

7.090.1. Density Requirements. The density of the development permitted shall be determined by dividing the gross site, less streets, by the lot area require in an R-2 or R-3 District, for a duplex or two-family structure or building type.

7.090.2. Parcel (Fee-Simple Lot) Requirements Area and Width Requirements. The Lot area and lot width of any parcel (fee-simple lot) may be variable provided that no parcel shall be created which contains less than one half (1/2) of the required lot area per structure of building type as stipulated in 7.090.1, above. In no case shall an individual parcel be created which contains less than an absolute minimum of 6,000 square feet, or a lot width at the building setback line of less than 75 feet.

A. Coverage Requirements

On any individual parcel of land, the area occupied by all buildings or structures thereon including accessory structures if any, shall not exceed thirty-five (35) percent of said parcel. All accessory structures shall be governed by the provisions of Section 3.100 and Section 5.051.2, B, 4, or 5.051.3, B, 6, of the zoning ordinance.



Town of Kingston Springs
Building and Codes Department
PO Box 256
396 Spring Street
Kingston Springs, TN 37082
615-952-2110

KINGSTON SPRINGS APPLICATION FOR REVIEW

Board of Zoning Appeals, Board of Construction/Sign Appeals

- Board of Zoning Appeals Residential **(\$150.00)** (34125)
- Board of Zoning Appeals Commercial **(\$200.00)** (34125)
- Board of Construction Appeals **(\$150.00)** (34125)
- Board of Sign Appeals **(\$175.00)** (34125)

Date of Application: _____

Property Address/Location: _____

Property Owner's Name: _____

Property Owner's Address: _____

Property Owner's Primary Phone #: _____ Secondary #: _____

Property Owner's Email: _____

Section for Appeal: 7.060 LOT OF RECORD Page Number: VII-5

Description of Appeal Request: _____

Reason: _____

Attachments? Describe: _____

Signature of Applicant: _____ Date: _____

BACK OF THIS FORM IS FOR OFFICE USE ONLY

OFFICE USE ONLY: APPLICANT DO NOT WRITE BELOW THIS LINE

Staff Review Information: _____

Appeal Board Fee: \$ _____

Amount Paid: \$ _____ Date Paid: _____

Receipt Number: _____

Board Performing Review: _____

Date of Review: _____

Approved Denied Withdrawn



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
DIVISION OF WATER RESOURCES
PERMIT FOR CONSTRUCTION OF SUBSURFACE SEWAGE DISPOSAL SYSTEM**

Issued to: <u>Carson, Matt & Kayla</u> Owner, Developer, Contractor, Installer, Etc. Location: <u>Patterson Dr</u> <u>Kingston Springs, TN 37082-</u> County: <u>Cheatham</u> Map/Group: <u>096J-A</u> Parcel: <u>66</u> Subdivision: Lot:	Evaluation Based Upon: <input checked="" type="checkbox"/> 1. Soil Typing by Soil Scientist <input type="checkbox"/> a. General <input checked="" type="checkbox"/> b. High Intensity <input type="checkbox"/> c. Extra High Intensity <input type="checkbox"/> 2. Soil Percolation Test <input type="checkbox"/> 3. Environmental Specialist Estimated Absorption Rate: <u>75</u> MPI	Type of System: <input checked="" type="checkbox"/> 1. Conventional <input checked="" type="checkbox"/> 2. Modified Conventional <input checked="" type="checkbox"/> 3. Conventional System Substitute <input checked="" type="checkbox"/> Chamber <input checked="" type="checkbox"/> Expanded Polystyrene <input checked="" type="checkbox"/> Large Diameter Gravelless Pipe Gravel backfill in a 24" wide trench <u>yes</u> required? <input type="checkbox"/> 4. Low Pressure Pipe <input type="checkbox"/> 5. Mound <input type="checkbox"/> 6. Lagoon <input type="checkbox"/> 7. Subsurface Drip System <input type="checkbox"/> 8. Other
Installation: <input checked="" type="checkbox"/> 1. New Installation <input type="checkbox"/> 2. Repair to Existing System <input type="checkbox"/> 3. System Modification	Approval Based Upon: State No. <u>T.C.A. 68-221-403</u> <input type="checkbox"/> (c) Percolation Test <input type="checkbox"/> (d) Grandfather clause - Current standards except those specified <input type="checkbox"/> (f) 12" (karst) and 6" (non-karst) buffer required <input type="checkbox"/> (i) 9" buffer required (24"-36" total soil depth) <input type="checkbox"/> (k) Grandfather clause - meets June 30, 1990 standards (repair only) <input checked="" type="checkbox"/> Current Standards <input type="checkbox"/> Other: _____	
Establishment: <input checked="" type="checkbox"/> 1. Residential: # Bedrooms <u>4</u> <input type="checkbox"/> 2. Other: _____ Gal/Day <u>0</u>	Also required: <input type="checkbox"/> 1. Soil Improvement Practice (SIP) <input type="checkbox"/> Curtain Drain <input type="checkbox"/> Drawdown Drain <input type="checkbox"/> Interceptor Drain <input type="checkbox"/> 2. Flow Diversion Valve <input type="checkbox"/> 3. Sewage Pump <input type="checkbox"/> Pump Flow Rate (gpm) _____ <input type="checkbox"/> TDH (ft) _____ <input type="checkbox"/> 4. Other: _____	

This system shall consist of a two compartment septic tank holding 1000 gallons, with 500 linear feet in 5-7 trenches, 36 inches wide and 24 (min) to 24 (max) inches deep. (Depth of gravel: 12 inches)

General Comments: See attached drawing for comments.

Leave gridstakes in place until final inspection.

All installers of subsurface sewage disposal systems must hold a valid annual license from the Tennessee Department of Environment and Conservation.

Please see attached drawing and supporting documentation.

The recipient of this permit agrees to construct or have constructed the above described system in accordance with T.C.A. 68-221-401 et. seq. and The Regulations To Govern Subsurface Sewage Disposal Systems. If any part of the system is covered before inspected and approved, it shall be uncovered by the recipient of the permit at the direction of personnel of the Department of Environment and Conservation. **Any cutting, filling or alterations of the soil conditions on the aforementioned property after this day may render this approval null and void.**

By Hannah Zanibi, ES1 Date 01/13/2022
 (Date of issue)

This is a permit to construct and is not intended to imply approval of any work proposed or completed on this lot.

Tennessee Department of Environment and Conservation - Division of Water Resources
 Permit for Construction of a Subsurface Sewage Disposal System



Issued To: Matt & Kayla Carson

Location: Patterson Dr.

Kingston Springs, TN 37082

M. 046 / P. 066

Inspector: Hammad Zaidi, ES 1

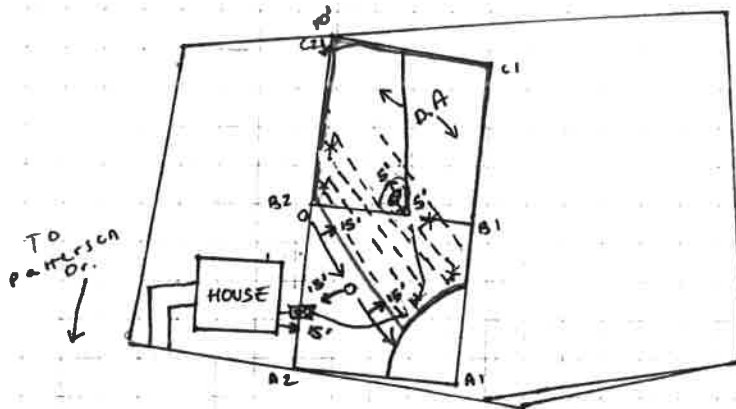
Date: 1/13/22

General Notes:

- Please refer to the design specifications for the subsurface sewage disposal system on the first page of the construction permit.
- Contact the local Division of Water Resources representative to schedule a final inspection.
- All electric components (e.g., pump, alarm, etc.) for the subsurface sewage disposal system must be inspected and approved by the appropriate electrical inspector prior to requesting a final inspection. Documentation of the electrical inspection must be available during the final inspection.

4 Bd / No Basement / 75MP@24"

□ COIL AREA



- * Keep 15' off natural drain
- * Keep 5' off tree hole. ⊙
- * Keep 10' off all property lines
- * Install 500' field lines at surface contour.
- * House location must remain 15' from coil area.



LEGEND

- PROPERTY LINE
- - - FENCE LINE
- - - GAS LINE
- - - SEWER LINE
- - - STORM LINE
- - - WATER LINE
- - - MIN. BLDG. SETBACK LINE
- - - OVERHEAD POWER OR TELE.
- - - PUBLIC UTILITY & DRAINAGE EASEMENT
- BOH BOREHOLE
- EMO ELECTRIC METER
- FHO FIRE HYDRANT
- GMO GAS METER
- IPONS IRON PIN NEW / SET
- MON MONUMENT
- POSTO POST
- WMO WATER METER
- WELL WELL
- YHQ YARD HYDRANT
- CATCH BASIN
- DECIDUOUS TREE
- EVERGREEN TREE
- GAS VALVE
- LIGHT POLE
- MAILBOX
- MAINHOLE
- PIN FLAG
- POWER POLE
- SIGN
- WATER VALVE

LINE	BEARING	DISTANCE
L1	N80°25'04"E	128.48'
L2	S84°58'40"E	165.28'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.87'	828.25'	3°31'04"	S88°24'21"E	68.88'
C2	45.20'	2041.75'	1°18'06"	S85°18'52"E	45.20'



OWNER
 LORA BETH & WHITNEY MORGAN WELLS
 P.O. BOX 241
 KINGSTON SPRINGS, TN 37082

SURVEYOR
 BRIAN MCCAIN, P.L.S.
 227 MCCAIN DRIVE
 KINGSTON SPRINGS, TN 37082
 (815) 772-5481
 brian@southernprecision.net



SOUTHERN PRECISION LAND SURVEYING, INC.

Brian McCain
 BRIAN A. MCCAIN, P.L.S.
 PRECISION LAND SURVEYING, INC.

I HEREBY CERTIFY THAT THE ACCURACY OF THIS GRID IS 1:1000 AND IS SHOWN HEREON.

12/3/21

11 SOUTHERN PRECISION LAND SURVEYING 2021

- also needs the requirements of "Maps and Mapping" as per standards of practices, 0820-3-.08 adopted by the Board of Examiners for Land Surveyors, State of Tennessee.
- Bearings are based on the Tennessee State Plane Coordinate System, NAD83 (Horizontal) and NAVD83 (Vertical).
- Distances were measured with E.D.M. equipment and have been corrected for temperature and barometric pressure.
- This survey was made using the latest recorded descriptions of record. No title report was furnished this surveyor, therefore, this survey is subject to the findings of a complete title search. The state of facts shown hereon are based on a professional opinion in regards to information obtained during the survey and does not constitute a warranty or guarantee, expressed or implied.

7. Information shown hereon was derived from random shots, cross sections, and radial shots.
 8. For: Matt Carmon.
 9. Zoning: R1A
 10. Setbacks: Front = 45' Sides = 20' Rear = 30'

PATTERSON DRIVE

MOUNT PLEASANT ROAD

KARILL LANE
 704 MOUNT PLEASANT ROAD
 TAX MAP 98J, GROUP "A", PARCEL 87.00
 RECORD BOOK 575, PAGE 533
 (R.O.C.C., TN)

SELINA WEBB
 710 MOUNT PLEASANT ROAD
 TAX MAP 98J, GROUP "A", PARCEL 88.00
 RECORD BOOK 285, PAGE 664
 (R.O.C.C., TN)

CLIFFORD DAVID MCCLUNE
 758 MOUNT PLEASANT ROAD
 TAX MAP 98J, GROUP "A", PARCEL 83.01
 RECORD BOOK 808, PAGE 2321
 (R.O.C.C., TN)

IF YOU DIG TENNESSEE...
 CALL US FIRST!
 1-800-381-1111
 1-816-386-1887
 TENNESSEE ONE CALL

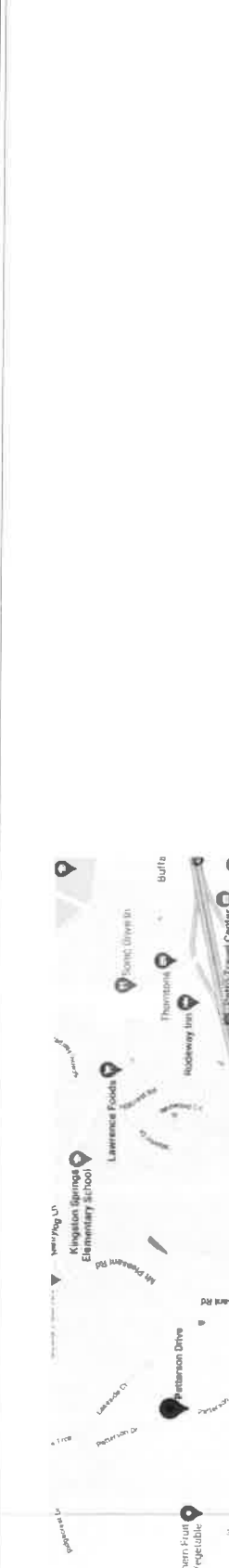


LORA

KII

ENVIRONMENTALIST NOTES:

- The areas indicated for the installation of the sewage soil absorption systems are to remain undisturbed, in their natural condition. No cut, fill, driveway or water line installation is to be allowed within these areas. Cutting or excavating soil within 25 feet of the outlined sewage disposal areas may void the Health Department approval.
- Depending upon house location and finish floor elevation, it may be



RENDERING
 FOR ILLUSTRATION ONLY

INDEX OF DRAWINGS

TITLE	SHEET
PROJECT SUMMARY	1
2ND FLOOR PLAN	2
1ST FLOOR PLAN	3
EXTERIOR ELEVATIONS	4
ROOF PLAN	5
FOUNDATION PLAN	6
ELECTRICAL PLAN - MAIN FLOOR	7
ELECTRICAL PLAN - SECOND FLOOR	8
FOUNDATION PLAN	9
FOUNDATION PLAN	10

CODE INFORMATION:

2015 INTERNATIONAL RESIDENTIAL CODE
 OCCUPANCY CLASS: R-3
 CONSTRUCTION TYPE: 5-B

CONSTRUCTION DESIGN SERVICES

PREPARED BY:
 SCS CONSTRUCTION DESIGN SERVICES
 10000 Highway 100
 Hendersonville, TN 37033
 (615) 832-5020
 scsdesign@aol.com

CONTRACTOR:
 McPHERSON SHAW, INC.
 141 HAMILTON BLVD, SUITE 300
 HENDERSONVILLE, TN 37033
 (615) 832-5020
 CONTACT: BOB SHAW
 bshaw@mcphersonshaw.com

GENERAL NOTES / DISCLAIMER:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

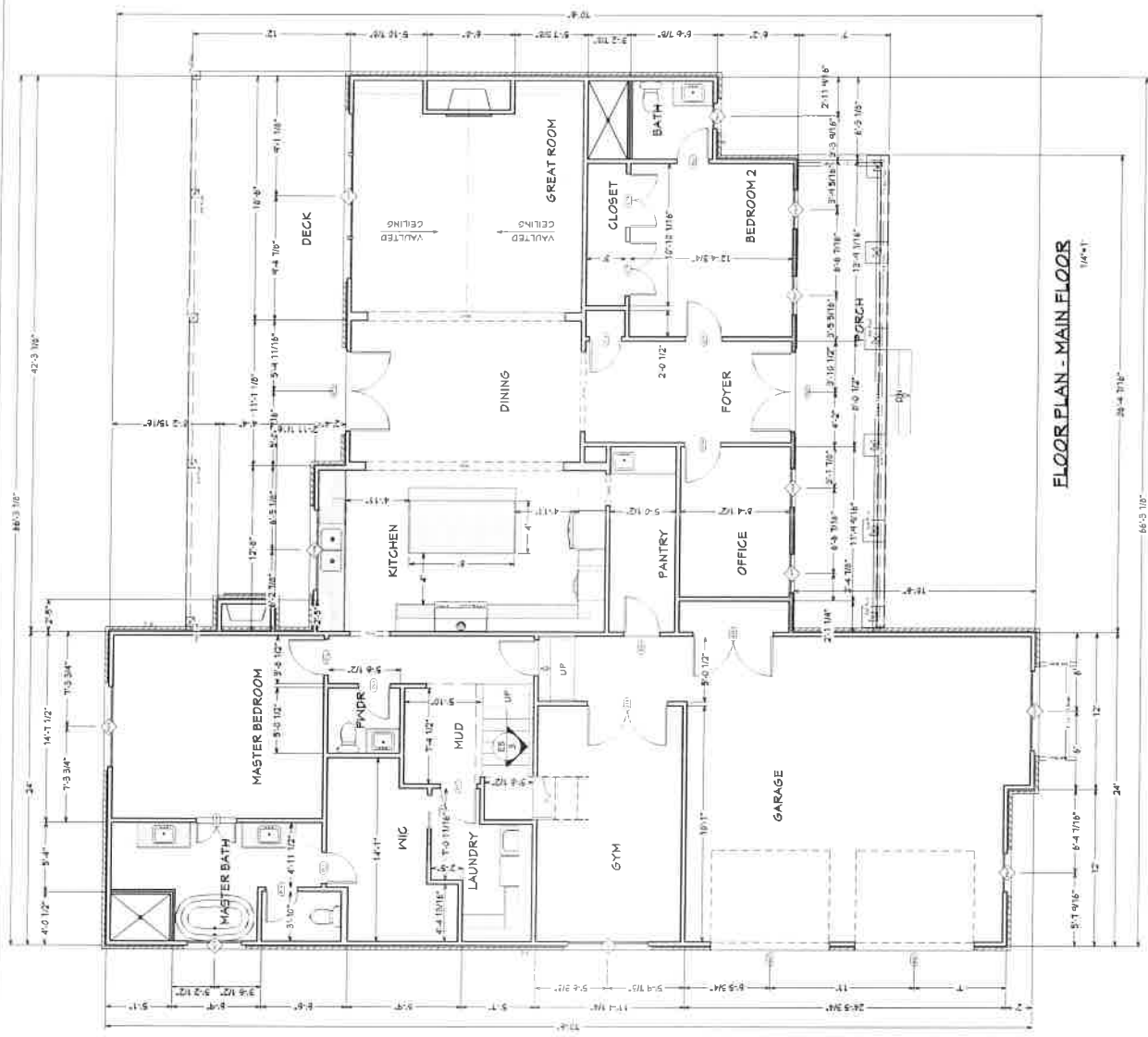
GREAT CARE AND EFFORT GOES INTO THE CREATION OF YOUR CONSTRUCTION PLANS. HOWEVER, BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY PERSONAL AND/OR "ON-SITE" CONSULTATION, SUPERVISION, CONTROL OVER THE ACTUAL CONSTRUCTION AND BECAUSE OF THE GREAT VARIANCES IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER LOCAL BUILDING AND WEATHER CONDITIONS, CONSTRUCTION DESIGN SERVICES ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCLUDING BUT NOT LIMITED TO, ANY DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN. IN ANY CASE, ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE DIMENSIONS AND/OR DRAWINGS CONTAINED IN THE CONSTRUCTION PLANS SHALL BE ROUGHT TO THE ATTENTION OF CONSTRUCTION DESIGN SERVICES IMMEDIATELY UPON RECEIPT OF THE PLANS. CONSTRUCTION PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THE CONSTRUCTION DOCUMENTS. CONSTRUCTION DESIGN SERVICES ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION DESIGN SERVICES WILL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS TO THE CONSTRUCTION PLANS.

CONSTRUCTION DESIGN SERVICES IS NOT A PROFESSIONAL ENGINEERING COMPANY. CARE HAS BEEN TAKEN TO DESIGN THIS STRUCTURE USING CODE PRESCRIPTIVE PRACTICES. HOWEVER, IF THERE ARE STRUCTURAL ISSUES NOT ADDRESSED BY THE PRESCRIPTIVE CODE DESIGN METHODS, A LICENSED STRUCTURAL ENGINEER SHOULD BE CONSULTED. CONSTRUCTION DESIGN SERVICES DOES NOT ACCEPT RESPONSIBILITY FOR STRUCTURAL DESIGN WHILE IT MAY NOT BE POSSIBLE TO HAVE THIS DISCLAIMER DISPLAYED ON EACH AND EVERY SHEET OF THE DESIGN. THIS NOTICE AT LEAST ONE SHEET CAUSES IT TO BE IN EFFECT FOR EACH AND EVERY SHEET OF THE DESIGN WITH THIS JOB NUMBER.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

MAIN FLOOR PLAN

Matt & Kayla Carson
Patterson Drive
Kingston Springs, TN



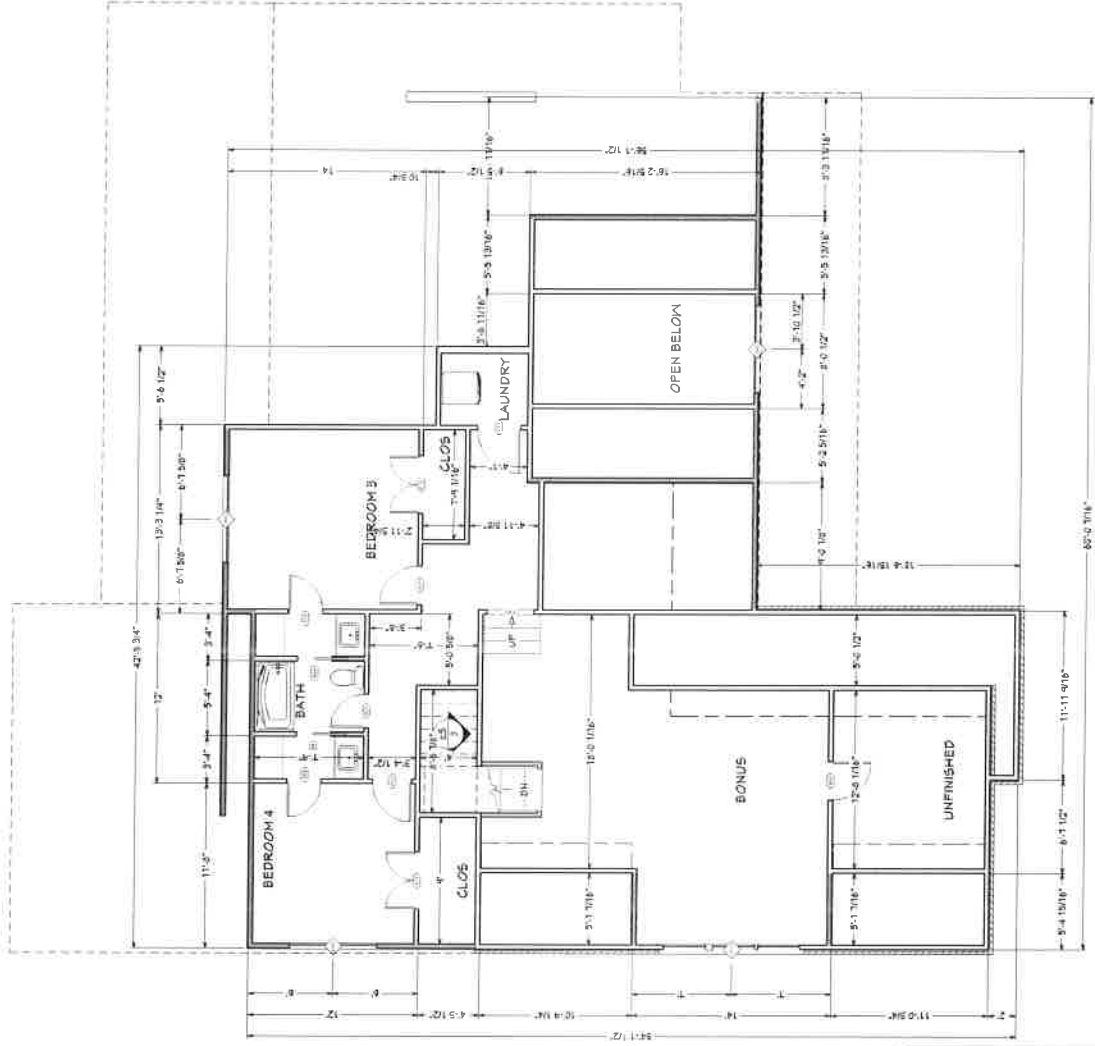
FLOOR PLAN - MAIN FLOOR
1/4" = 1'

SQUARE FOOTAGES:

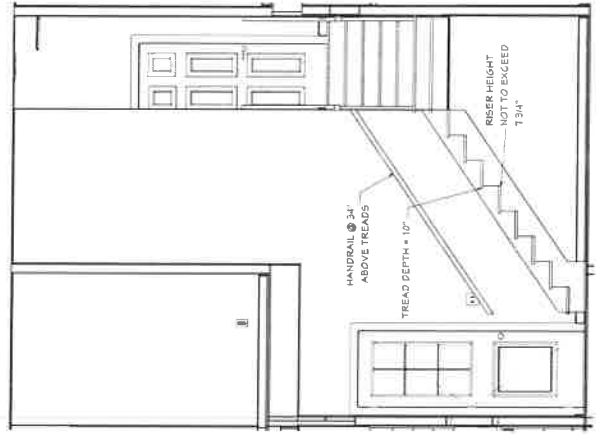
FIRST FLOOR:	3185
SECOND FLOOR:	1145
TOTAL HEATED:	3845
GARAGES:	688
UNFINISHED PORCHES:	112
UNFINISHED BONUS:	146
TOTAL UNDER ROOF:	5191

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE TO THE FINISHING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FINISHING, ROUGH OPENINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS.



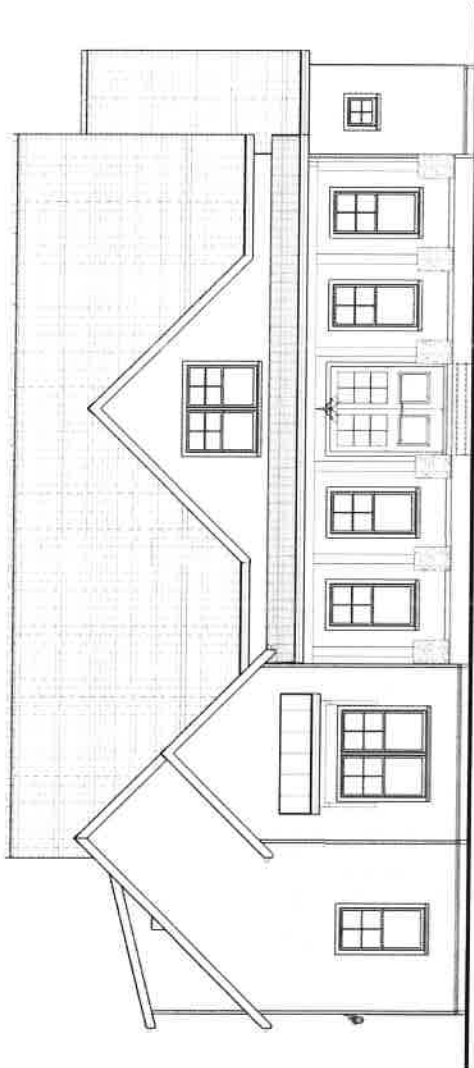
FLOOR PLAN - FLOOR 2
 1/4\"/>



STAIR SECTION
 1/2\"/>

STAIR NOTES:

- 1 STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34\"/>
- 2 TREADS SHALL HAVE A MIN. WIDTH OF 10\"/>
- 3 STAIRWAYS SHALL HAVE MIN. 6\"/>
- 4 ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8\"/>
- 5 TYPE 'X' GYPSUM WALL BOARD.
- 6 HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- 7 STAIRWAYS HAVING LESS THAN 3 RISERS DO NOT REQUIRE A HAND RAIL.
- 8 GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 2' BELOW AND SHALL HAVE A 34\"/>
- 9 RAILING AND GUARDRAIL BALLUSTER SPACING SHALL BE NO GREATER THAN 4\"/>
- 10 THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6\"/>

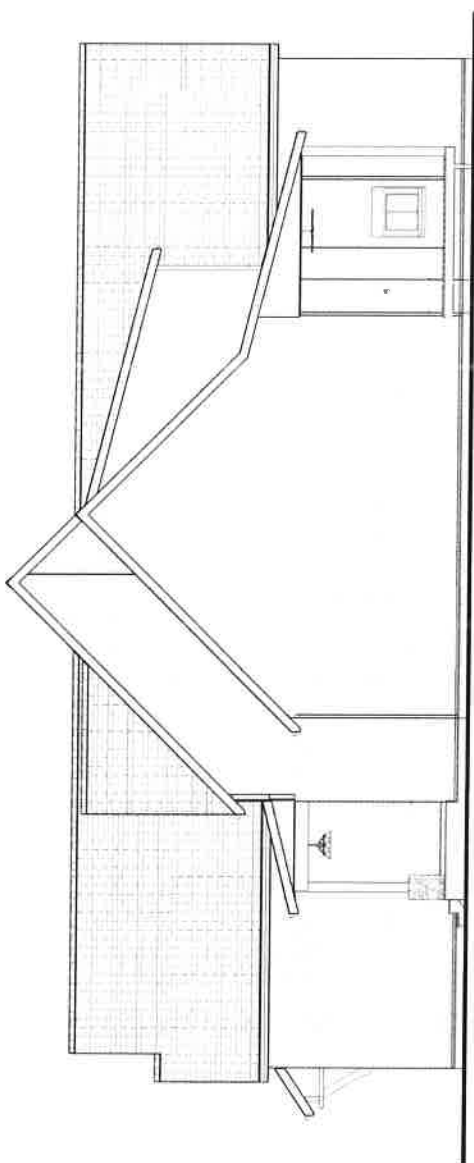


FRONT ELEVATION
1/4" = 1'

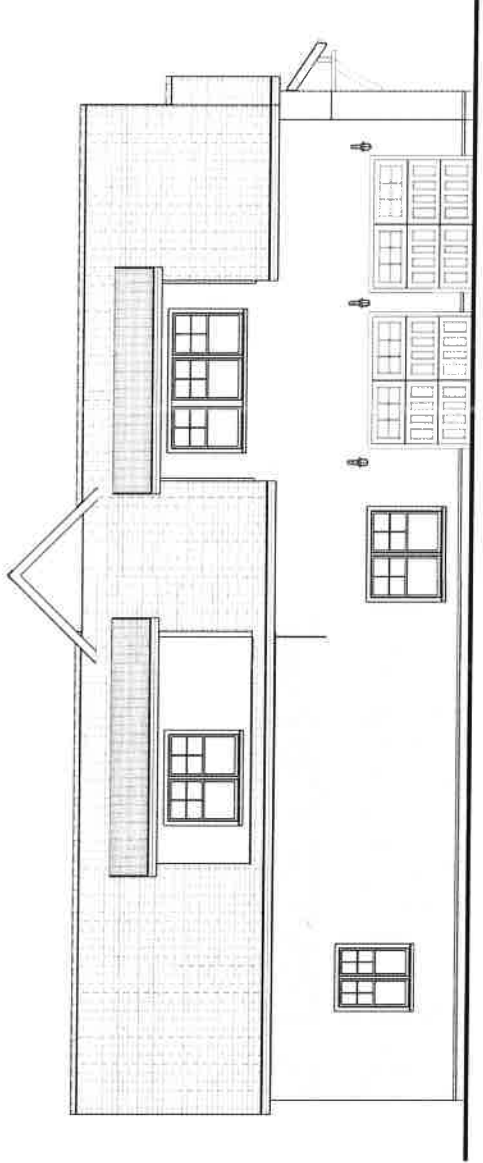


REAR ELEVATION
1/4" = 1'

RIGHT SIDE ELEVATION
1/8"=1'



LEFT SIDE ELEVATION
1/8"=1'



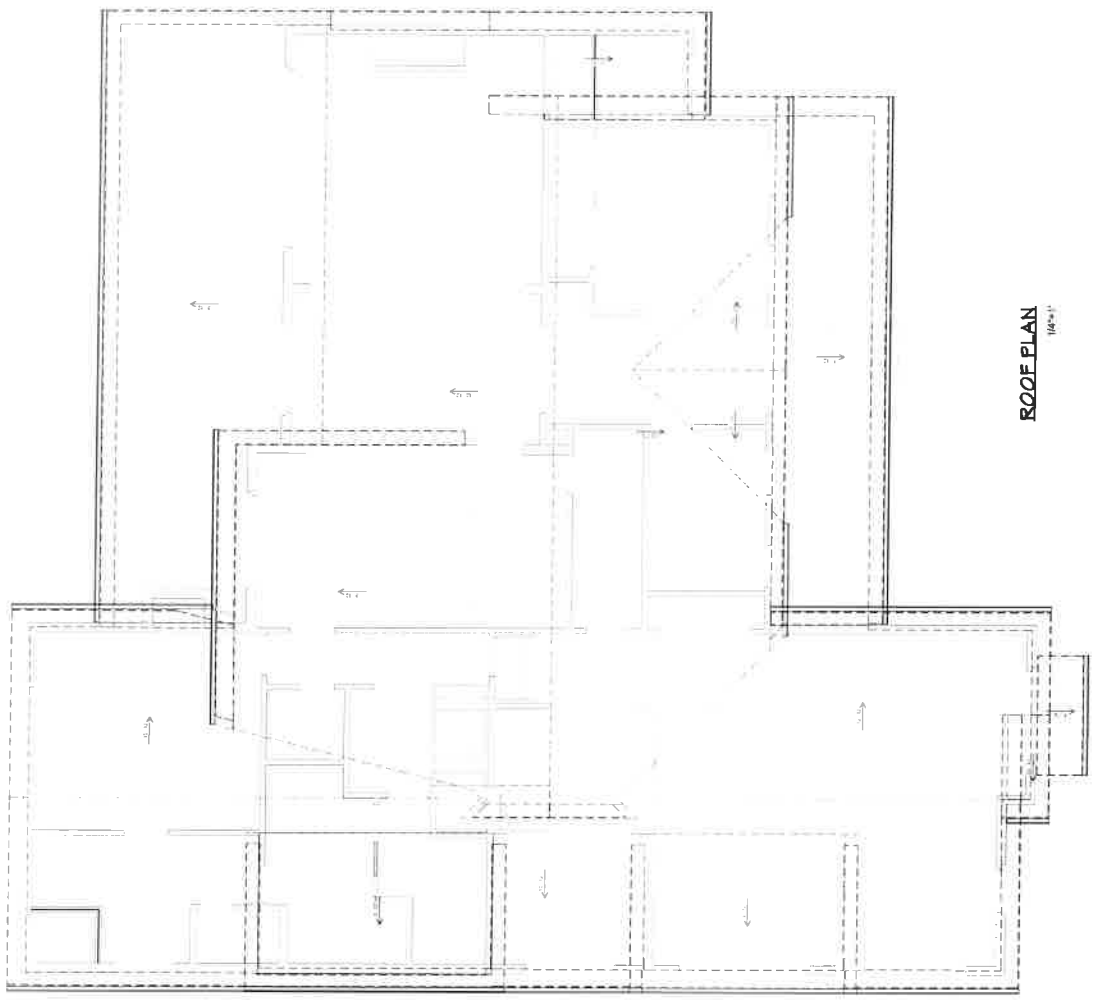
SHEET NUMBER
6

JOB NO. 22-004
DATE: 4.27.2022
DRAWN BY: S.W.

ROOF PLAN

Matt & Kayla Carson
Patterson Drive
Kingston Springs, TN

SDS
CONSTRUCTION DESIGN SERVICES
117 2022



ROOF PLAN
1/4" = 1'-0"

DOOR SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	MARKING
1	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	101
2	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	102
3	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	103
4	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	104
5	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	105
6	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	106
7	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	107
8	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	108
9	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	109
10	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	110
11	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	111
12	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	112
13	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	113
14	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	114
15	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	115
16	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	116
17	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	117
18	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	118
19	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	119
20	6'0" x 8'0" Solid Core Door with 20' x 24" Glass Insert	EA	1	120

WINDOW SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	MARKING
1	6'0" x 8'0" Double Hung Window	EA	1	101
2	6'0" x 8'0" Double Hung Window	EA	1	102
3	6'0" x 8'0" Double Hung Window	EA	1	103
4	6'0" x 8'0" Double Hung Window	EA	1	104
5	6'0" x 8'0" Double Hung Window	EA	1	105
6	6'0" x 8'0" Double Hung Window	EA	1	106
7	6'0" x 8'0" Double Hung Window	EA	1	107
8	6'0" x 8'0" Double Hung Window	EA	1	108
9	6'0" x 8'0" Double Hung Window	EA	1	109
10	6'0" x 8'0" Double Hung Window	EA	1	110
11	6'0" x 8'0" Double Hung Window	EA	1	111
12	6'0" x 8'0" Double Hung Window	EA	1	112
13	6'0" x 8'0" Double Hung Window	EA	1	113
14	6'0" x 8'0" Double Hung Window	EA	1	114
15	6'0" x 8'0" Double Hung Window	EA	1	115
16	6'0" x 8'0" Double Hung Window	EA	1	116
17	6'0" x 8'0" Double Hung Window	EA	1	117
18	6'0" x 8'0" Double Hung Window	EA	1	118
19	6'0" x 8'0" Double Hung Window	EA	1	119
20	6'0" x 8'0" Double Hung Window	EA	1	120

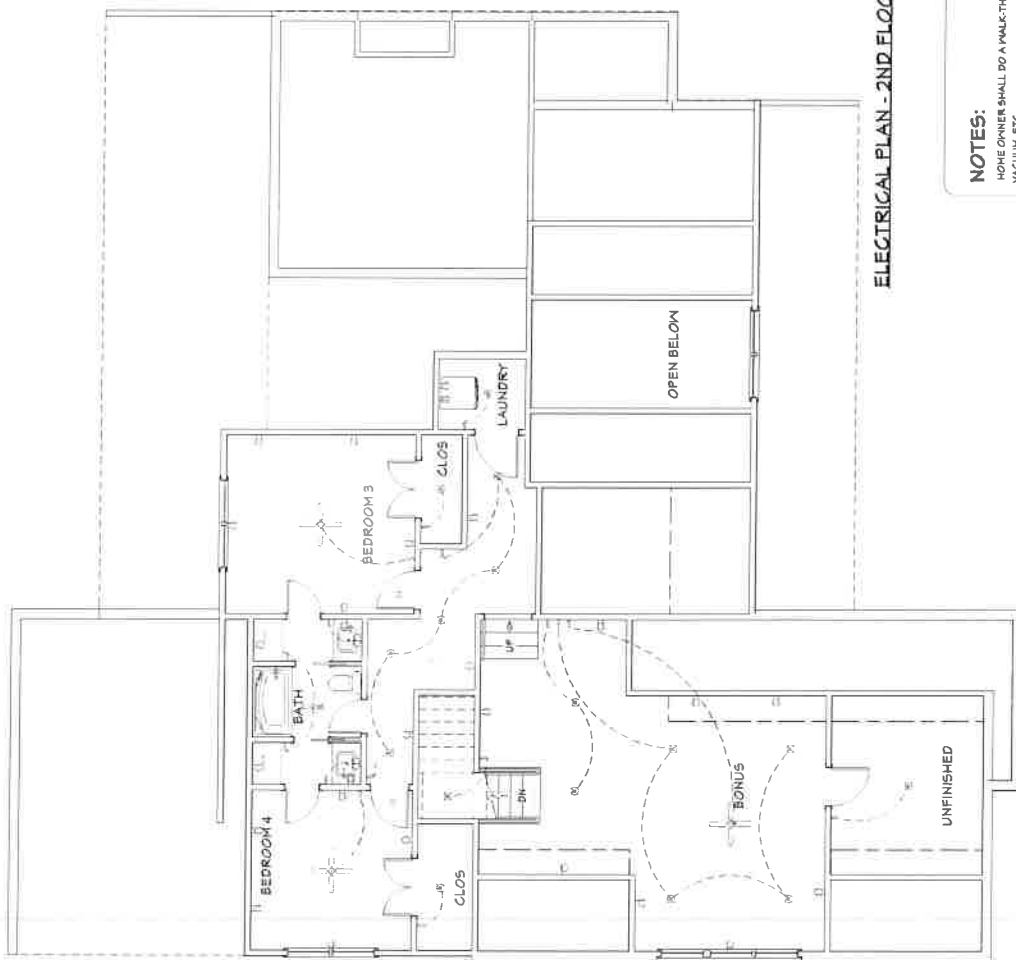


ELECTRICAL PLAN - MAIN FLOOR
1/4"=1'

- NOTES:**
HOME OWNER SHALL DO A WALKTHRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.
- ELECTRICAL NOTES:**
- 1 PROVIDE MIN. 400 AMP SERVICE TO MAIN PANEL
 - 2 ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS - SEE MFG'S SPECS. FOR REQUIREMENTS
 - 3 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS
 - 4 ALL BEDROOM OUTLETS AND LIGHTS BE ARC-Fault PROTECTED
 - 5 PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE FINDER AND INTERCONNECT SMOKE DETECTORS TO HOUSE FINDER AND INTERCONNECT SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - 6 CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION
 - 7 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER
 - 8 ALL DIMMER SWITCHES TO BE 48" O.C. ASF. OUTLETS TO BE 15" O.C. ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM (ASF) ABOVE SINKS.
 - 9 ALL LIGHTING SHALL BE DIMMABLE AND USE LED BULBS, UNO

ELECTRICAL PLAN SECOND FLOOR

Matt & Kayla Carson
Patterson Drive
Kingston Springs, TN



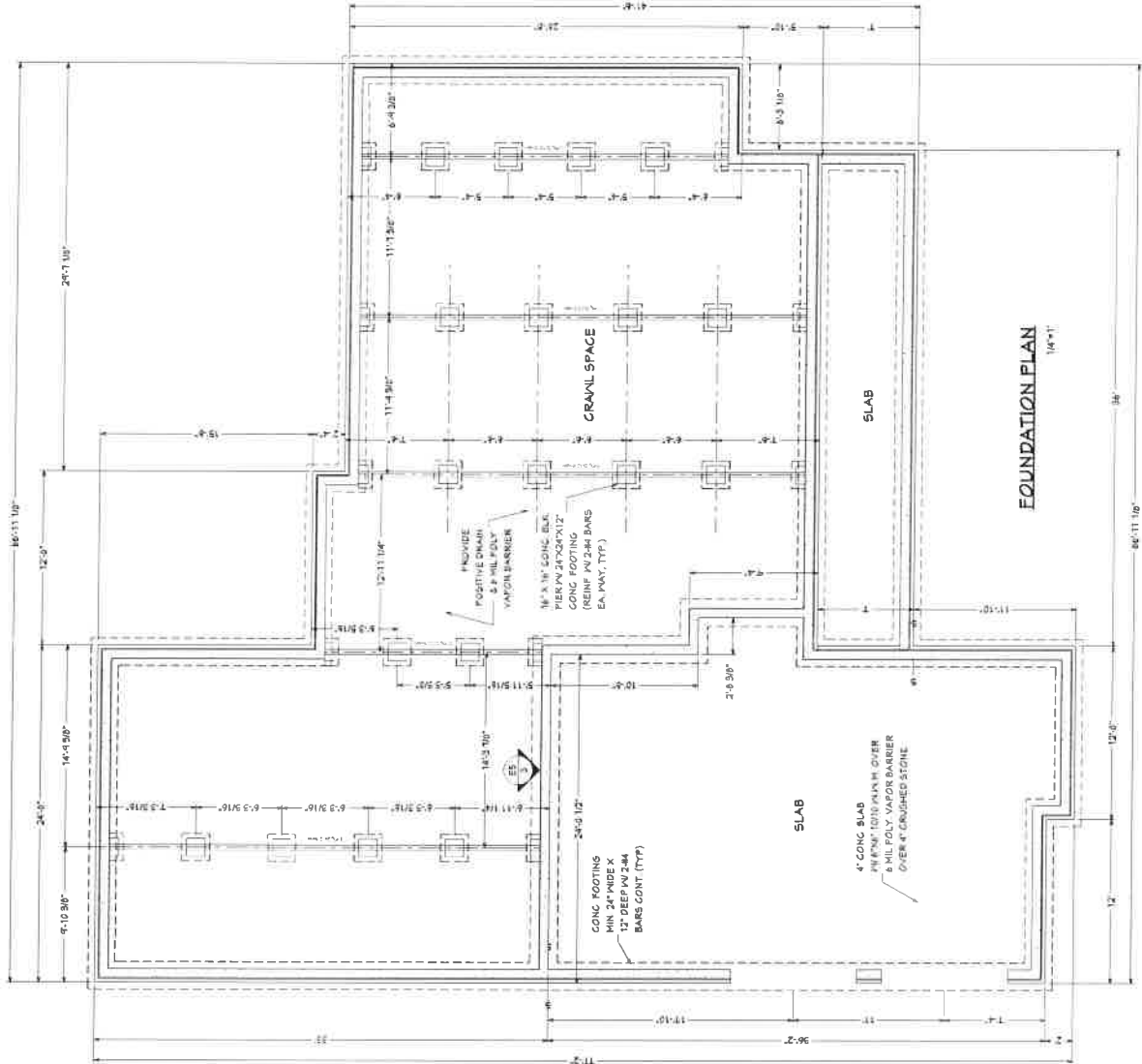
ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'

NOTES:

- HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.
- ELECTRICAL NOTES:**
 - 1 PROVIDE MIN 400 AMP SERVICE TO MAIN PANEL.
 - 2 ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS. SEE MFSS SPPZS FOR REQUIREMENTS.
 - 3 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE 6 F 6 C (1) PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 - 4 ALL BEDROOM OUTLETS AND LIGHTS BE ANCHOR FAULT PROTECTED.
 - 5 PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTION IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT DO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - 6 CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 - 7 FINAL SWITCHES FOR DIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 - 8 PROCURES TO BE SELECTED BY HOME OWNER.
 - 9 USE ALL SWITCHES TO BE 40" O/C ASF. OUTLETS TO BE 15" O/C ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM. (ASFP ABOVE SURFACE).
 - 10 ALL LIGHTING SHALL BE DIMMABLE AND USE LED BULBS, UNO.

FOUNDATION PLAN

Matt & Kayla Carson
Patterson Drive
Kingsport Springs, TN



FOUNDATION NOTES

- 1 CHU STEM WALL
- 2 FOUNDATIONS TO BEAR A MINIMUM OF 24" BELOW FINISH GRADE
- 3 ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO
- 4 ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
- 5 PROVIDE CORNER BARS TO MATCH CONTIGUOUS STEEL
- 6 MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 28 DAYS. MAXIMUM AGGREGATE SIZE IS 1 1/2"
- 7 MAXIMUM AIR ENTRAINMENT IS 3%. CLIENT SHOULD BE TYPE 1 OR 2
- 8 ALL FOOTINGS ASSUMED TO BE 2000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE DESIGNER MUST BE NOTIFIED. ALL FOOTINGS MUST BE STABILIZED
- 9 ADJACENT GROUND SURFACES SHALL BE SLOPED TO DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND RESOURCES
- 10 UNIFORM SOIL CONDITIONS. MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUTFILL OR NON UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
- 11 THE TOPS OF FOUNDATION WALLS SHALL EXTEND 8" ABOVE THE ADJACENT FINISH GRADE
- 12 MINIMUM 24" CLEARANCE FOR WOOD JOIST GRIDDERS REQUIRED IN THE CRAWL SPACE UNLESS TREATED WOOD IS USED THROUGHOUT FLOOR SYSTEM